

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999 - section 40

EXCEPTIONAL DEVELOPMENT PERMIT

EDP2025/0284

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

N.T. Portion 03480
NT Portion
210 GREATOREX RD, ILPARPA

APPROVED PURPOSE

To use and develop the land for the purpose of dwelling-single with associated one bedroom hotel/motel (historic train carriage) and separate effluent disposal system, in accordance with the attached schedule of conditions and the endorsed plans.

BASE PERIOD OF THE PERMIT

This permit will expire if one of the following circumstances applies:

- (a) the development is not started within two years of the date of this permit; or
- (b) the development is not completed within four years of the date of this permit.

The Minister may extend the periods referred to if an application is made in the approved form before the permit expires.

RIGHT OF APPEAL

There is no right of appeal against a determination by the Minister in relation to the grant or variation of an Exceptional Development Permit.



JOANNE TOWNSEND
Delegate of the Minister
for Lands, Planning and Environment

15 January 2026

EXCEPTIONAL DEVELOPMENT PERMIT

EDP2025/0284

SCHEDULE OF CONDITIONS

1. The works carried out under this permit shall be in accordance with the drawings number 2025/0284/01 to 2025/0284/06 endorsed as forming part of this permit.
2. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to Alice Springs Town Council, to the satisfaction of the Minister.
3. Before the use or occupation of the development starts, the area(s) set-aside for the parking of vehicles as shown on the endorsed plans must be:
 - a. properly formed to such levels that they can be used in accordance with the plans;
 - b. surfaced with an all-weather-seal coat;
 - c. drained;
 - d. line marked to indicate each car space and all access lanes; and
 - e. clearly marked to show the direction of traffic along access lanes and driveways to the satisfaction of the Minister. Car parking spaces, access lanes and driveways must be kept available for these purposes at all times.
4. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage, electricity to the development shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time. Please refer to notations for further information.
5. Storage for waste disposal bins is to be provided to the requirements of Alice Springs Town Council to the satisfaction of the Minister.
6. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Minister, including that any dead, diseased or damaged plants are to be replaced.
7. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the Minister.
8. This Exceptional Development Permit will expire if one of the following circumstances applies:
 - a. the development and use is/are not started within two years of the date of this permit; or
 - b. the development is not completed within four years of the date of this permit.The Minister may extend the periods referred to if a request is made in writing before the permit expires.

NOTES

1. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month

prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.

2. A "Permit to Work Within a Road Reserve" is required from Alice Springs Town Council, before commencement of any work within the road reserve.
3. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by the Northern Territory Building Act 1993 before commencing any demolition or construction works.
4. Any proposed works which fall within the scope of the Construction Industry Long Service Leave and Benefits Act 2005 must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 8936 4070 to determine if the proposed works are subject to the Act.
5. If you choose NBN to service your development, you will need to enter into a development agreement with NBN. The first step is to register the development via <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html> once registered NBN will be in contact to discuss the specific requirements for the development. NBN requires you to apply at least 3 months before any civil works commence. All telecommunications infrastructure should be built to NBN guidelines found at <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments/builders-designers.html>
6. The development and use hereby permitted should be designed, constructed, registered and operate in accordance with the National Construction Code of Australia, the Public and Environmental Health Act 2011 and Regulations, the Food Act 2004 and National Food Safety Standards.
7. Notwithstanding the approved plans, all signage is subject to Alice Springs Town Council approval, at no cost to Council.
8. There are statutory obligations under the Waste Management and Pollution Control Act 1998 (the Act), that require all persons to take all measures that are reasonable and practicable to prevent or minimise pollution or environmental harm and reduce the amount of waste. The proponent is required to comply at all times with the Act, including the General Environmental Duty under Section 12 of the Act. There is also a requirement to obtain an authorisation prior to conducting any of the activities listed in Schedule 2 of the Act. Guidelines to assist proponents to avoid environmental impacts are available on the Northern Territory Environment Protection Authority website at <http://ntepa.ntg.gov.au/waste-pollution/guidelines/guidelines>.
9. Any new on-site wastewater management system is to be installed in accordance with the Code of Practice for Wastewater Management.

1
A05

This document contains drawing numbers:
2025/0284/01 to 2025/0284/06

Referred to in Permit No: EDP2025/0284

Issued on: 15 January 2026

All drawings contained within this document have been authorised
by the Delegate of the Minister for Lands, Planning and Environment

Delegate of the Minister

Drawing number 2025/0284/01

Referred to in Permit No: EDP2025/0284

LOT 3481
2.16ha

EXISTING SINGLE STOREY DWELLING

REPURPOSED TRAIN CARRIAGE, ON INDIVIDUAL SEPTIC TANK AND SOLAR POWER

105700

52820

EXISTING FENCE

SHED

SWIMMING POOL
PERGOLA

EXISTING SINGLE STOREY 4 BEDROOM DWELLING ON INDIVIDUAL SEPTIC TANK

EXISTING FENCE
WATER TANK

LOT 3480
2.02ha

EXISTING DUST SUPPRESSED GRAVEL VEHICLE SURFACE

73060

GREATOREX ROAD

25200

ENTRY

LOT 3479
2.03ha

EXISTING SINGLE STOREY 1 BEDROOM DWELLING ON INDIVIDUAL SEPTIC TANK

SINGLE STOREY BRICK DWELLING

216350

10217

26300

DO NOT SCALE - IF REQUIRED DIMENSIONS ARE NOT SHOWN REFER TO ARCHITECT

Approver



MUTCH RESIDENCE

ILPARPA TRAIN CARRIAGE
210 GREATOREX RD
ILPARPA NT 0870

REV
1

DESCRIPTION
FOR TOWN PLANNING

DATE
07/07/25



SITE PLAN

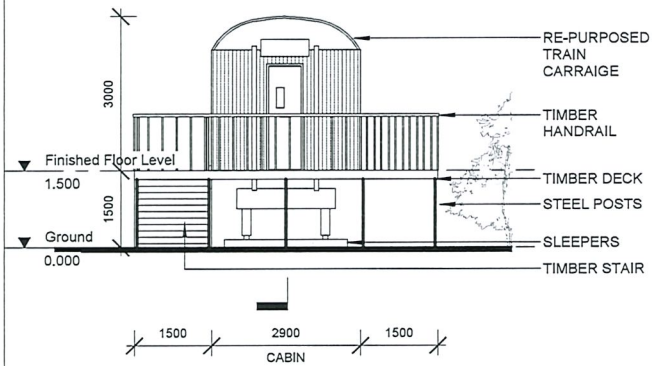
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Drawn by IG

Checked by MW

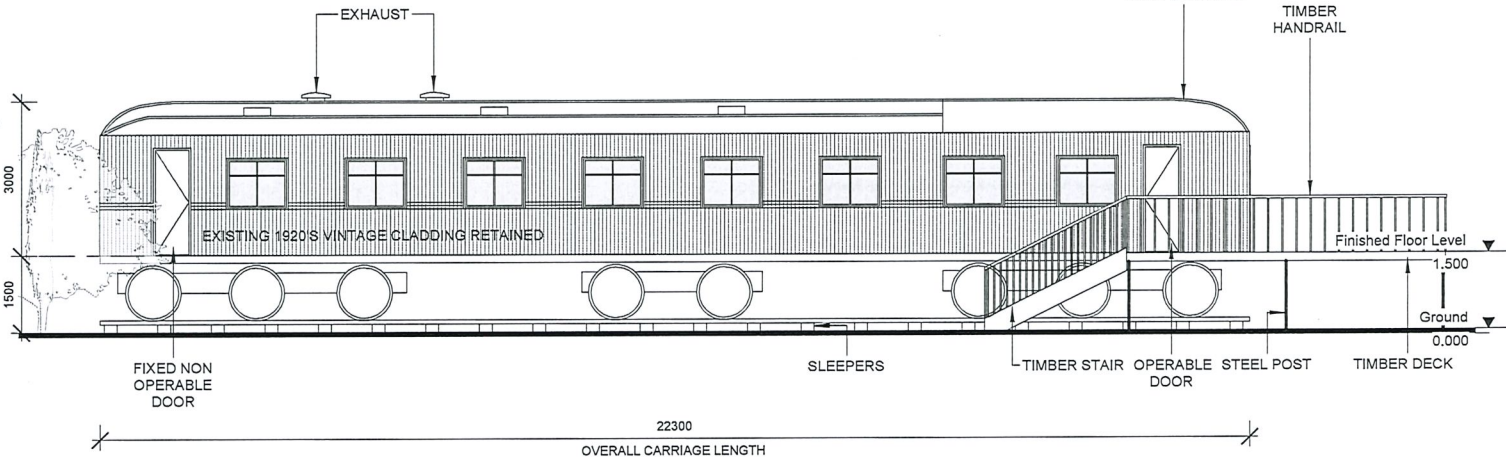
Project number P804
Date 07/07/25

A01

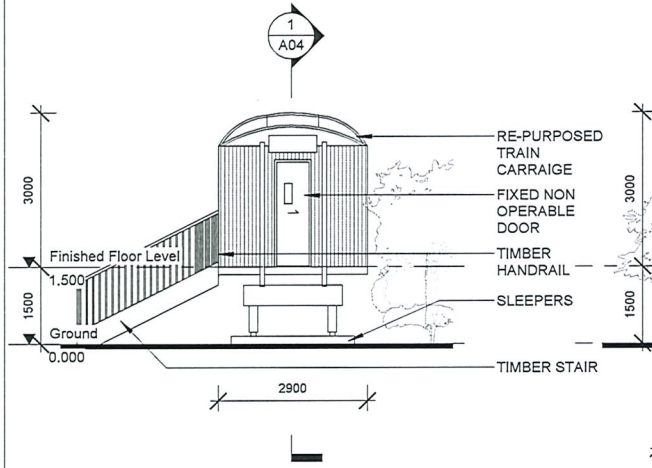
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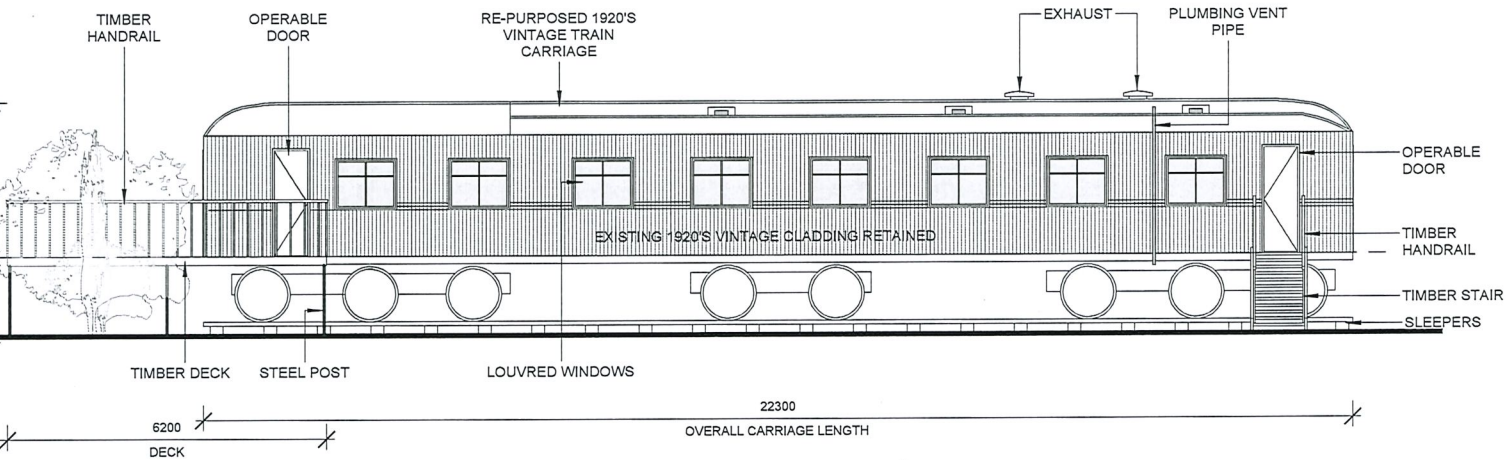
2 North Elevation
A02 1:100



1 East Elevation
A02 1:100



3 South Elevation
A02 1:100



4 West Elevation
A02 1:100

Drawing number 2025/0284/03
Referred to in Permit No: EDP2025/0284

DO NOT SCALE - IF REQUIRED DIMENSIONS ARE NOT SHOWN REFER TO ARCHITECT

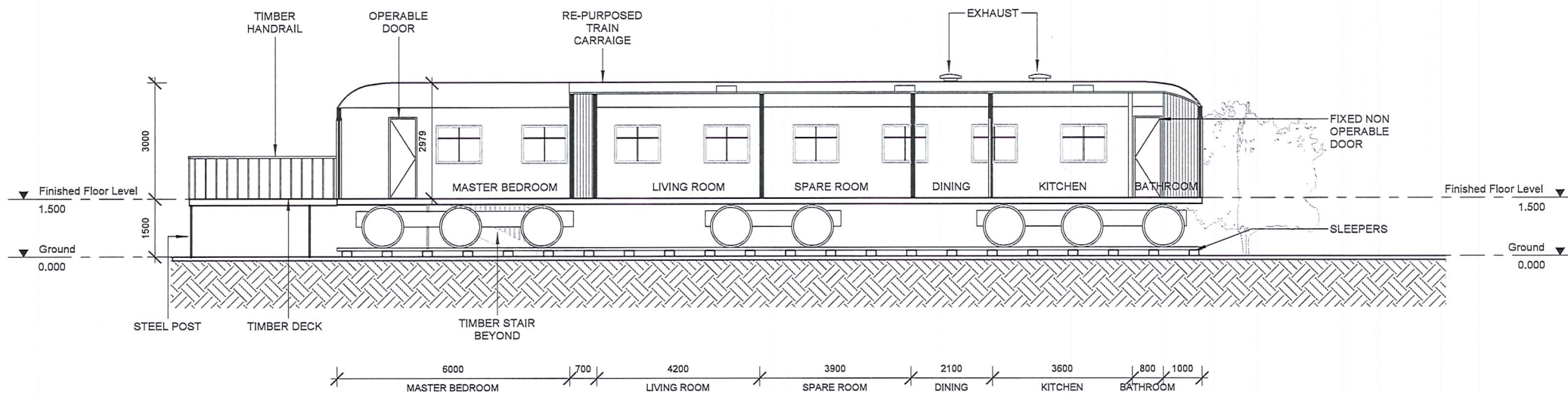


MUTCH RESIDENCE
ILPARPA TRAIN CARRIAGE
210 GREATOREX RD
ILPARPA NT 0870

REV	DESCRIPTION	DATE
1	FOR TOWN PLANNING	07/07/25

Elevations		Project number
Scale	1:100	P804
Drawn by	IG	Checked by MW
		Date 07/07/25

A03
7/7/2025 11:19:24 AM



1 NORTH TO SOUTH SECTION
A02 1 : 100

Drawing number 2025/0284/04
Referred to in Permit No: EDP2025/0284

DO NOT SCALE - IF REQUIRED DIMENSIONS ARE NOT SHOWN REFER TO ARCHITECT



MUTCH RESIDENCE

ILPARPA TRAIN CARRIAGE
210 GREATOREX RD
ILPARPA NT 0870

REV
1

DESCRIPTION
FOR TOWN PLANNING

DATE
07/07/25

Internal Section

Scale 1 : 100
Drawn by IG

Checked by MW

Project number P804
Date 07/07/25

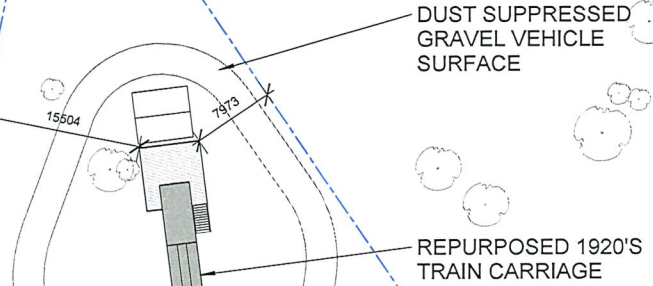
A04

7/07/2025 11:16:20 AM

Drawing number 2025/0284/05
 Referred to in Permit No: EDP2025/0284

105700

52820



LOT 3479
2.03ha

LOT 3480
2.02ha

EXISTING ARID LANDSCAPE

EXISTING SINGLE STOREY 1 BEDROOM DWELLING

SHED

1 Site - Callout 1
A01 1 : 500

DO NOT SCALE - IF REQUIRED DIMENSIONS ARE NOT SHOWN REFER TO ARCHITECT

Approver



MUTCH RESIDENCE ILPARPA TRAIN CARRIAGE
 210 GREATOREX RD
 ILPARPA NT 0870

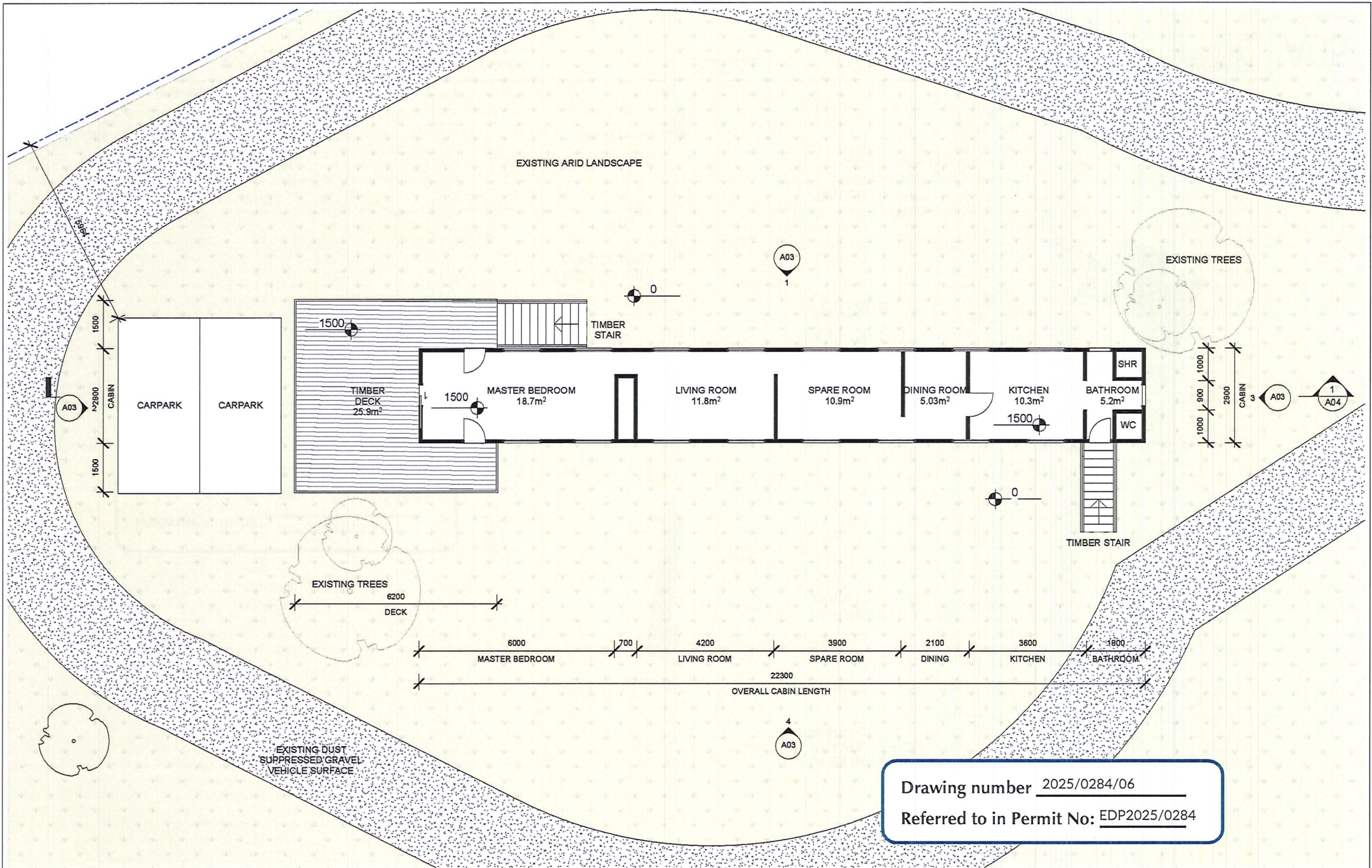
REV 1 DESCRIPTION FOR TOWN PLANNING

DATE 07/07/25



SITE PLAN CALL OUT TRAIN CARRIAGE
 Scale 1 : 500
 Drawn by IG Checked by MW
 Project number P804 Date 07/07/25

A05
7/17/2025 11:15:20 AM



Drawing number 2025/0284/06
 Referred to in Permit No: EDP2025/0284

DO NOT SCALE - IF REQUIRED DIMENSIONS ARE NOT SHOWN REFER TO ARCHITECT



MUTCH RESIDENCE

ILPARPA TRAIN CARRIAGE
 210 GREATOREX RD
 ILPARPA NT 0870

REV
 1

DESCRIPTION
 FOR TOWN PLANNING

DATE
 07/07/25



Floor plan

Scale 1 : 100
 Drawn by IG

Checked by MW

Project number P804
 Date 07/07/25

A02

7/07/2025 11:18:20 AM