

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999 - section 40

EXCEPTIONAL DEVELOPMENT PERMIT

EDP2025/0239

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 08642
Town of Alice Springs
3 COULTHARD CT, CICCONE

APPROVED PURPOSE

To use and develop the land for the purpose of warehouse addition to existing warehouse with height exceeding 8.5m and reduced car parking, in accordance with the attached schedule of conditions and the endorsed plans.

BASE PERIOD OF THE PERMIT

This permit will expire if one of the following circumstances applies:

- (a) the development is not started within two years of the date of this permit; or
- (b) the development is not completed within four years of the date of this permit.

The Minister may extend the periods referred to if an application is made in the approved form before the permit expires.

RIGHT OF APPEAL

There is no right of appeal against a determination by the Minister in relation to the grant or variation of an Exceptional Development Permit.



JOANNE TOWNSEND
Delegate of the Minister
for Lands, Planning and Environment

9 January 2026

EXCEPTIONAL DEVELOPMENT PERMIT

EDP2025/0239

SCHEDULE OF CONDITIONS

1. The works carried out under this permit shall be in accordance with the drawings endorsed as forming part of this permit.
2. Before the use or occupation of the development starts, the area(s) set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
 - a. constructed;
 - b. properly formed to such levels that they can be used in accordance with the plans;
 - c. surfaced with an all-weather-seal coat;
 - d. drained;
 - e. line marked to indicate each car space and all access lanes; and
 - f. clearly marked to show the direction of traffic along access lanes and driveways to the satisfaction of the Minister. Car parking spaces, access lanes and driveways must be kept available for these purposes at all times.
3. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage, electricity to the development shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time. Please refer to notations for further information.
4. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to Alice Springs Town Council, to the satisfaction of the Minister.
5. The kerb crossovers and driveways to the site approved by this permit are to meet the technical standards of Alice Springs Town Council, to the satisfaction of the Minister.
6. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street, in accordance with the requirements of Alice Springs Town Council to the satisfaction of the Minister.
7. The owner shall:
 - a. remove disused vehicle and/ or pedestrian crossovers;
 - b. provide footpaths/ cycleways;
 - c. collect stormwater and discharge it to the drainage network; and
 - d. undertake reinstatement works;all to the technical requirements of and at no cost to Alice Springs Town Council, to the satisfaction of the Minister.
8. Storage for waste disposal bins is to be provided to the requirements of Alice Springs Town Council to the satisfaction of the Minister.
9. "No entry/no exit" signs and arrows directing the internal traffic movement on site shall be provided at completion of building to the requirements and satisfaction of the Minister.

10. The loading and unloading of goods from vehicles must only be carried out on the land within the designated loading bays and must not disrupt the circulation and parking of vehicles on the land.
11. Before the use of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Minister.
12. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Minister, including that any dead, diseased or damaged plants are to be replaced.
13. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the Minister.
14. This Exceptional Development Permit will expire if one of the following circumstances applies:
 - a. the development and use is/are not started within two years of the date of this permit; or
 - b. the development is not completed within four years of the date of this permit.The Minister may extend the periods referred to if a request is made in writing before the permit expires.

NOTES

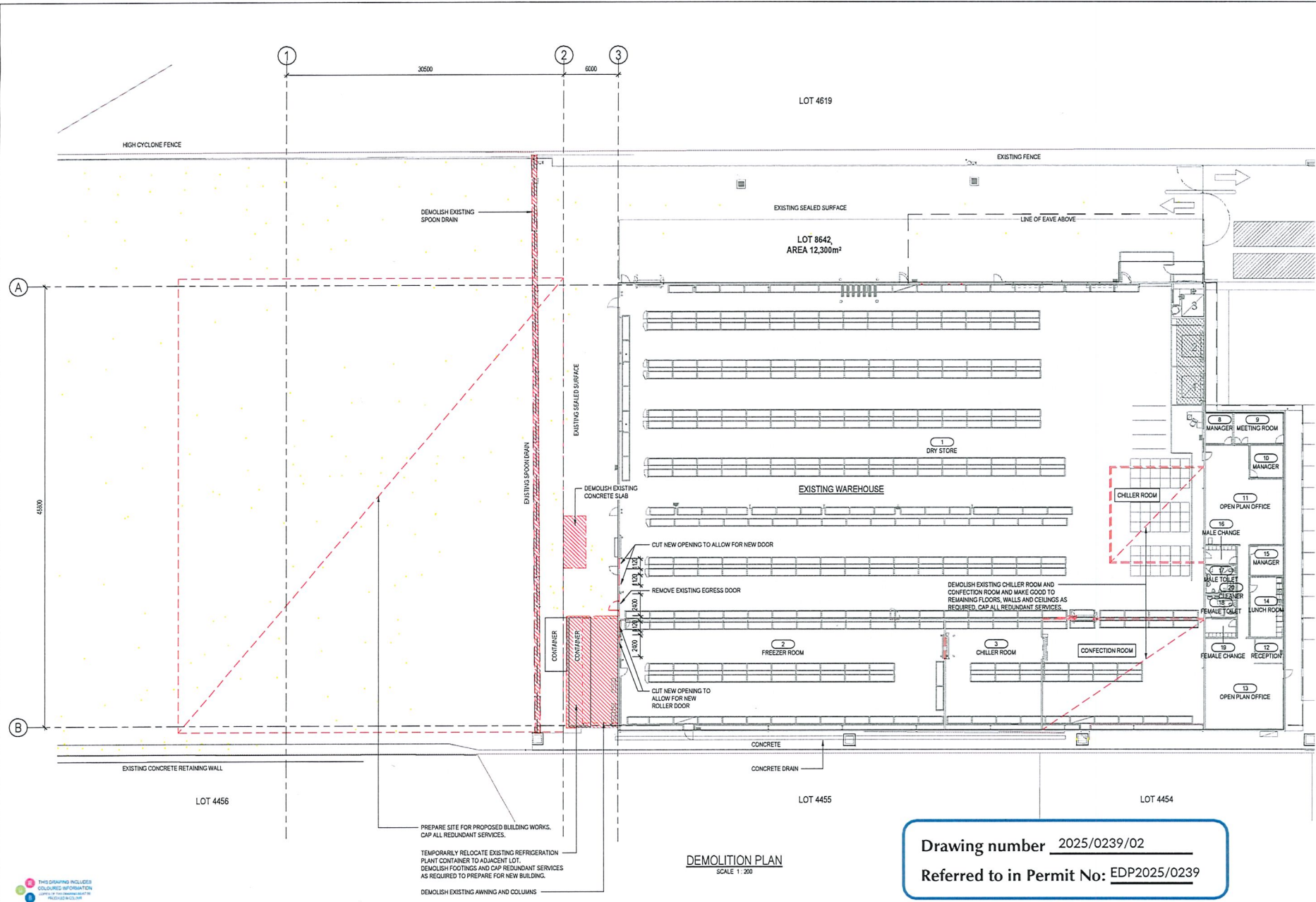
1. A "Permit to Work Within a Road Reserve" is required from Alice Springs Town Council, before commencement of any work within the road reserve.
2. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
3. Any works (including the provision or connection of services) within or impacting upon the Stuart Highway Road reserve shall be in accordance with the standards and specifications of Alice Springs Town Council. Design documents must be submitted to Alice Springs Town Council for approval and no works are to commence prior to approval.
4. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by the Northern Territory Building Act 1993 before commencing any demolition or construction works.
5. Any proposed works which fall within the scope of the Construction Industry Long Service Leave and Benefits Act 2005 must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 8936 4070 to determine if the proposed works are subject to the Act.
6. If you choose NBN to service your development, you will need to enter into a development agreement with NBN. The first step is to register the development via <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html> once registered

NBN will be in contact to discuss the specific requirements for the development. NBN requires you to apply at least 3 months before any civil works commence. All telecommunications infrastructure should be built to NBN guidelines found at <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments/builders-designers.html>

7. Professional advice regarding implementation of soil erosion control and dust control measures to be employed throughout the construction phase of the development are available from the Department of Environment and Natural Resources. Information can be obtained from the IECA Best Practice Erosion and Sediment Control Guidelines 2008 available at www.austieca.com.au and the NTG website <https://nt.gov.au/environment/soil-land-vegetation>.
8. The development and use hereby permitted should be designed, constructed, registered and operate in accordance with the National Construction Code of Australia, the Public and Environmental Health Act 2011 and Regulations, the Food Act 2004 and National Food Safety Standards.
9. Notwithstanding the approved plans, all signage is subject to Alice Springs Town Council approval, at no cost to Council.

JOANNE TOWNSEND
Delegate of the Minister
for Lands, Planning and Environment

January 2026



DEMOLITION PLAN
SCALE 1:200

Drawing number 2025/0239/02
Referred to in Permit No: EDP2025/0239

Rev	Description	Checked	Approved	Date
P05	PLANNING APPROVAL	JAYTEX	JB	18.07.25
T04	PLANNING APPROVAL	JAYTEX	JB	17.02.25
P03	30% DESIGN ISSUE	JAYTEX	JB	27.03.25
P02	30% DESIGN ISSUE	JAYTEX	JB	27.02.25
P01	DRAFT ONLY FOR REVIEW AND COMMENT	JAYTEX	JB	12.02.25
Drafting Check		E.ERIKSEN		
Design Check		J.CULGAN		
Reg Architect		J.BARTETZKO		
State and Reg No.		NT 1170		



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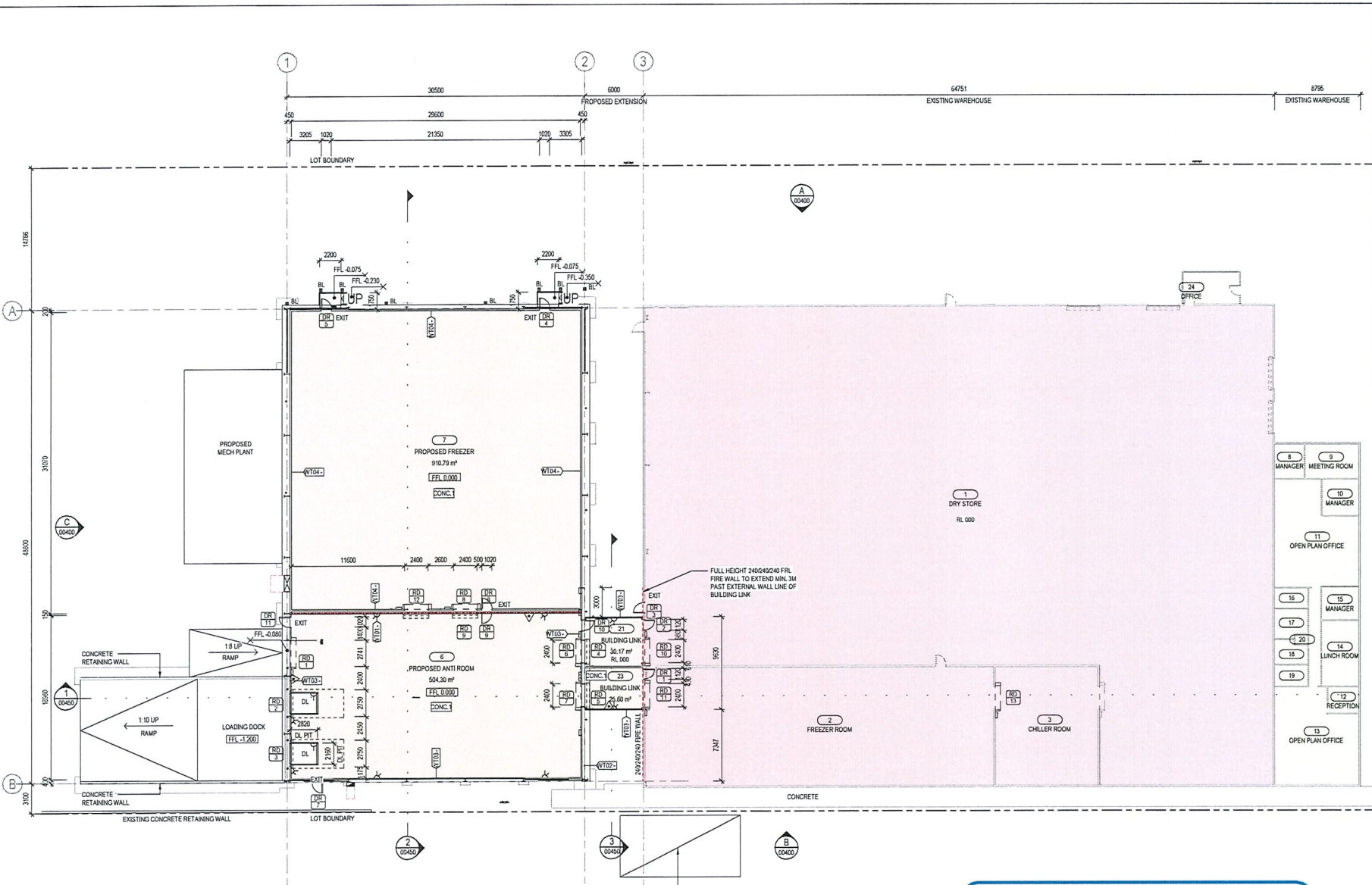


Client **JAYTEX CONSTRUCTIONS**
Project **METCASH WAREHOUSE EXTENSION**
Status **PRELIMINARY**
Project No. **12640619**

Drawing Title **ARCHITECTURAL DEMOLITION PLAN**

12640619-GHD-00-00-DRG-AR-00035

Sheet **A1**
Rev **P05**



ROOM SCHEDULE		
NUMBER	NAME	AREA
1	DRY STORE	2608.88 m ²
2	FREEZER ROOM	437.83 m ²
3	CHILLER ROOM	128.90 m ²
6	PROPOSED ANTI ROOM	504.30 m ²
7	PROPOSED FREEZER	910.79 m ²
8	MANAGER	10.81 m ²
9	MEETING ROOM	19.53 m ²
10	MANAGER	13.88 m ²
11	OPEN PLAN OFFICE	80.78 m ²
12	RECEPTION	8.62 m ²
13	OPEN PLAN OFFICE	78.31 m ²
14	LUNCH ROOM	25.75 m ²
15	MANAGER	12.51 m ²
16	MALE CHANGE	7.10 m ²
17	MALE TOILET	9.51 m ²
18	FEMALE TOILET	8.00 m ²
19	FEMALE CHANGE	7.28 m ²
20	CLEANER	1.44 m ²
21	BUILDING LINK	30.17 m ²
23	BUILDING LINK	25.50 m ²
24	OFFICE	19.14 m ²

TOTAL AREA SCHEDULE	
Name	Area
EXISTING WAREHOUSE	5532.75 m ²
PROPOSED EXTENSION	1549.23 m ²

KEYNOTE LEGEND	
BL	BOLLARD
CONC.1	150mm WEARING SLAB FLOOR (ROOM FINISH WITH CLEAR SEALER) WITH 150mm INSULATED PANEL BENEATH
DL	DOCK LEVELLER
WT01	150mm FIRE RATED INSULATED PANEL
WT02	200 SERIES BLOCKWORK WALL
WT03	100mm INSULATED PANEL
WT04	150mm INSULATED PANEL

LEGEND	
---	240/450/40 FRL FIRE WALL
---	50mm FIRE WALL
EXIT	NOMINATED SAFE EGRESS POINT
EXISTING	EXISTING
OFFICE	OFFICE
PROPOSED	PROPOSED

- GENERAL NOTES**
1. TO BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS.
 2. ALL MECHANICAL ENGINEERING BY OTHERS, INCLUDING COOL ROOM DESIGN, PANEL INSTALLATION AND PLANT AND EQUIPMENT DESIGN AND INSTALL.
 3. 20ft SHIPPING CONTAINERS SHOWN NOMINALLY. FINAL LOCATION AND SIZE TBC BY CLIENT.

Drawing number 2025/0239/03
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THIS DRAWING INCLUDES COLLOURED INFORMATION FOR ACCESS BY VISUALLY IMPAIRED PEOPLE

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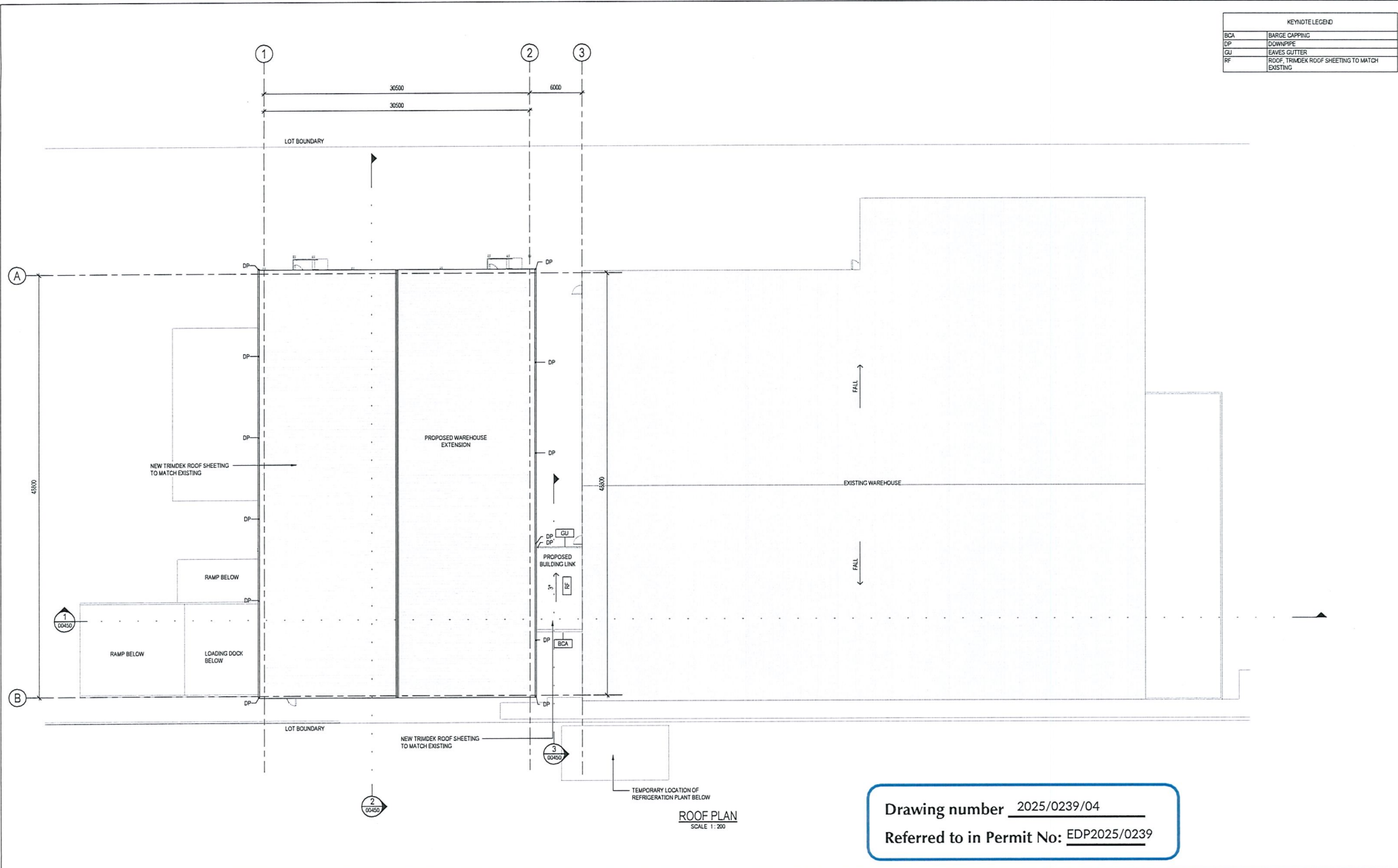


Client: JAYTEX CONSTRUCTIONS
 Project: METCASH WAREHOUSE EXTENSION
 Project No: 12640619
 Status: PRELIMINARY

Drawing Title: ARCHITECTURAL GENERAL ARRANGEMENT - GROUND FLOOR
 Drawing No: 12640619-GHD-00-00-DRG-AR-001100
 Rev: P05

Site: A1

KEYNOTE LEGEND	
BCA	BARGE CAPPING
DP	DOWNPIPE
GU	EAVES GUTTER
RF	ROOF TRIMDEK ROOF SHEETING TO MATCH EXISTING

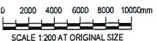


Drawing number 2025/0239/04
 Referred to in Permit No: EDP2025/0239

ROOF PLAN
SCALE 1:200

Rev	Description	Checked	Approved	Date
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Drafting Check	E.ERIKSEN	Reg Architect	J.BARTETZKO
Design Check	J.CULGAN	State and Reg No.	NT 1170



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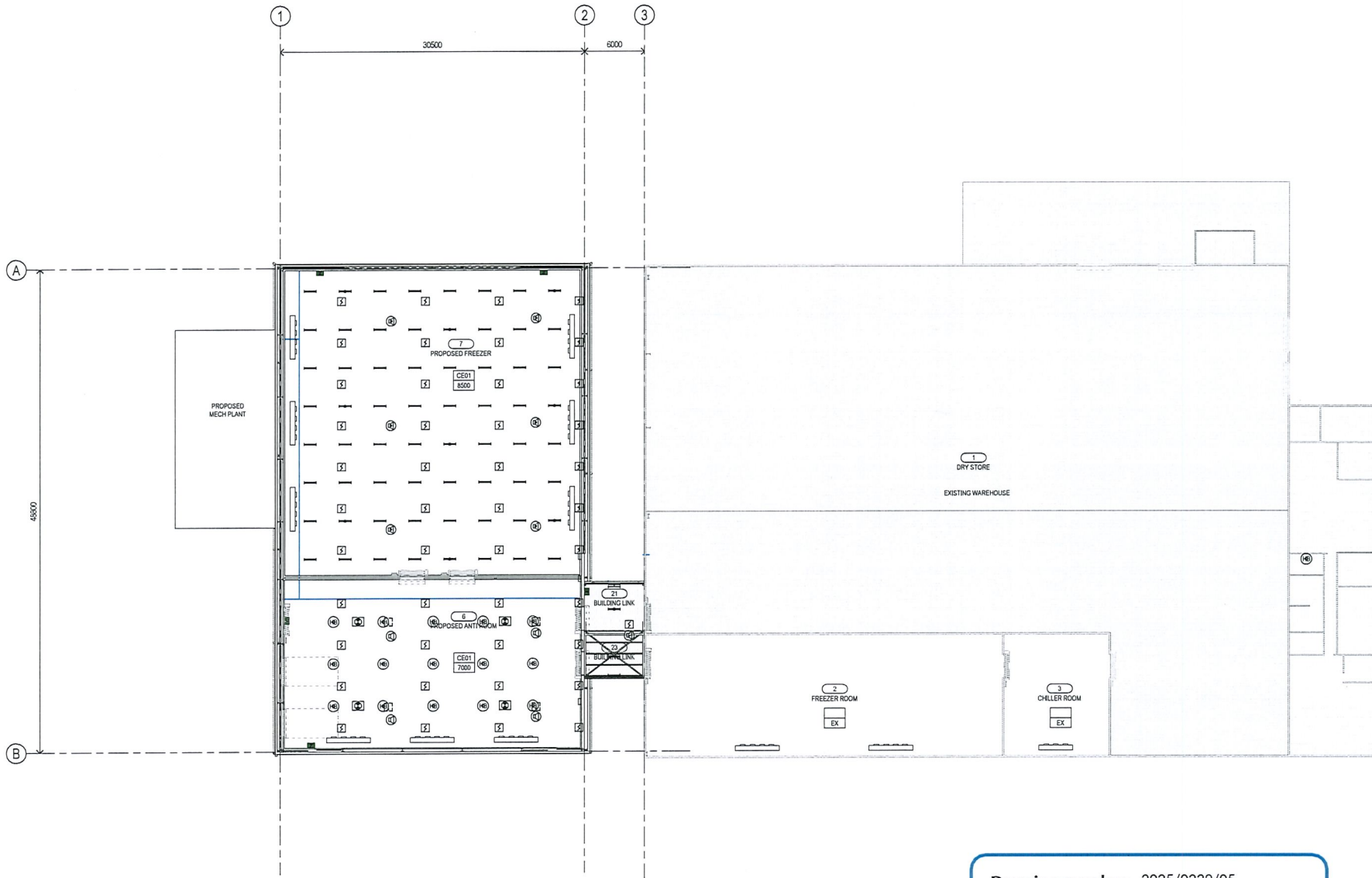
Project No. 12640619

Status PRELIMINARY

Drawing Title ARCHITECTURAL GENERAL ARRANGEMENT - ROOF

12640619-GHD-00-00-DRG-AR-00102

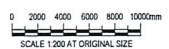
Size A1
 Rev P05



REFLECTED CEILING PLAN
SCALE 1:200

Drawing number 2025/0239/05
Referred to in Permit No: EDP2025/0239

Rev	Description	Checked	Approved	Date
P01	PLANNING APPROVAL	JAYTEX	JB	18.07.25
Design Check	Checker	Reg Architect	Designer	State and Reg No.



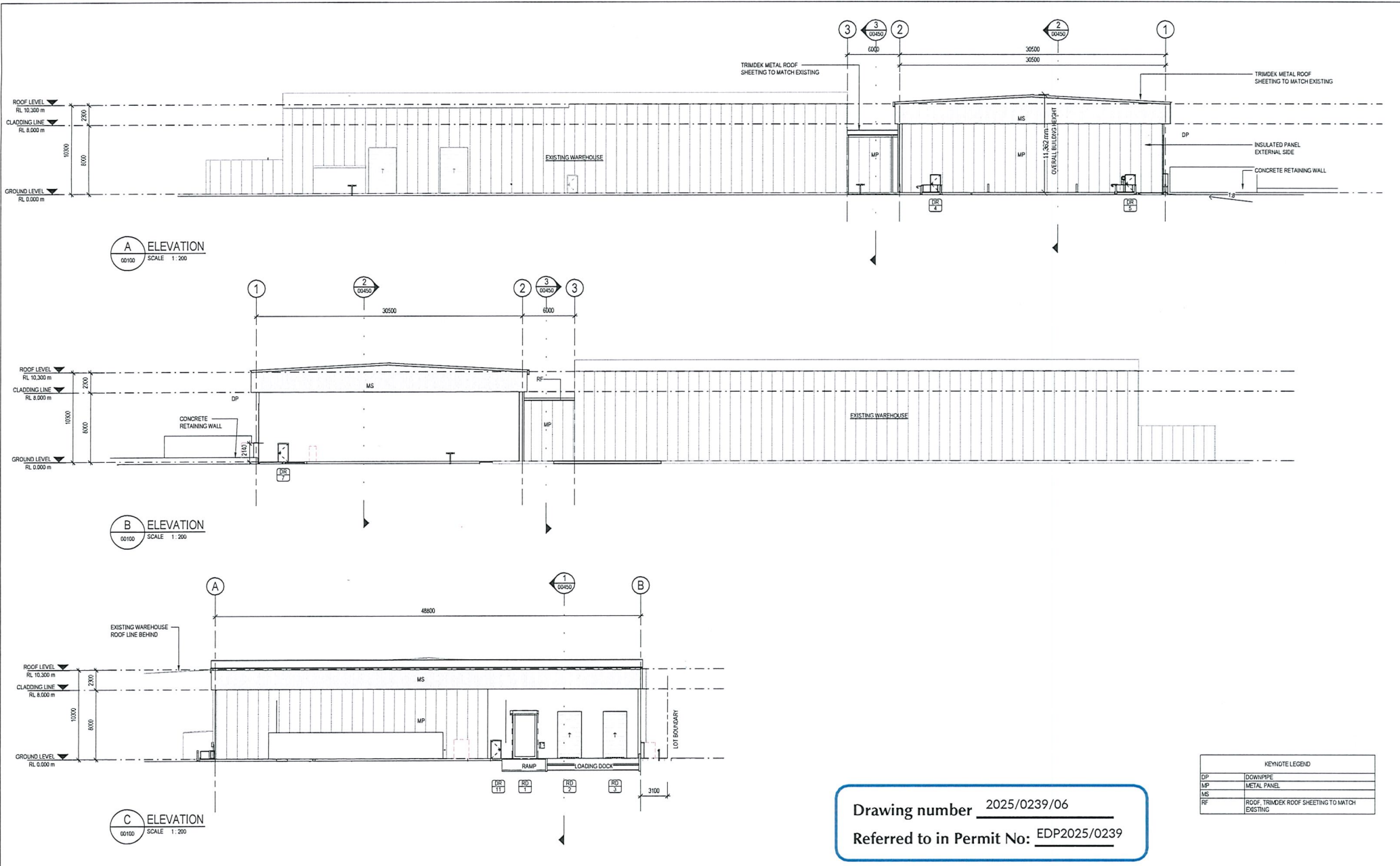
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Client	JAYTEX CONSTRUCTIONS
Project	METCASH WAREHOUSE EXTENSION
Status	

Drawing Title	REFLECTED CEILING PLAN - GROUND FLOOR
Drawing No.	12640619-GHD-00-00-DRG-AR-00250

Size
A1
Rev
P01



A ELEVATION
00100 SCALE 1:200

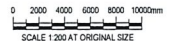
B ELEVATION
00100 SCALE 1:200

C ELEVATION
00100 SCALE 1:200

KEYNOTE LEGEND	
DP	DOWNPipe
MP	METAL PANEL
MS	ROOF TRIMDEK ROOF SHEETING TO MATCH EXISTING
RF	CONCRETE RETAINING WALL

Drawing number 2025/0239/06
 Referred to in Permit No: EDP2025/0239

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Client JAYTEX CONSTRUCTIONS
 Project METCASH WAREHOUSE EXTENSION

Project No. 12640619

Status PRELIMINARY

Drawing Title ARCHITECTURAL BUILDING ELEVATIONS

12640619-GHD-00-00-DRG-AR-00400

Site A1

Rev P05