

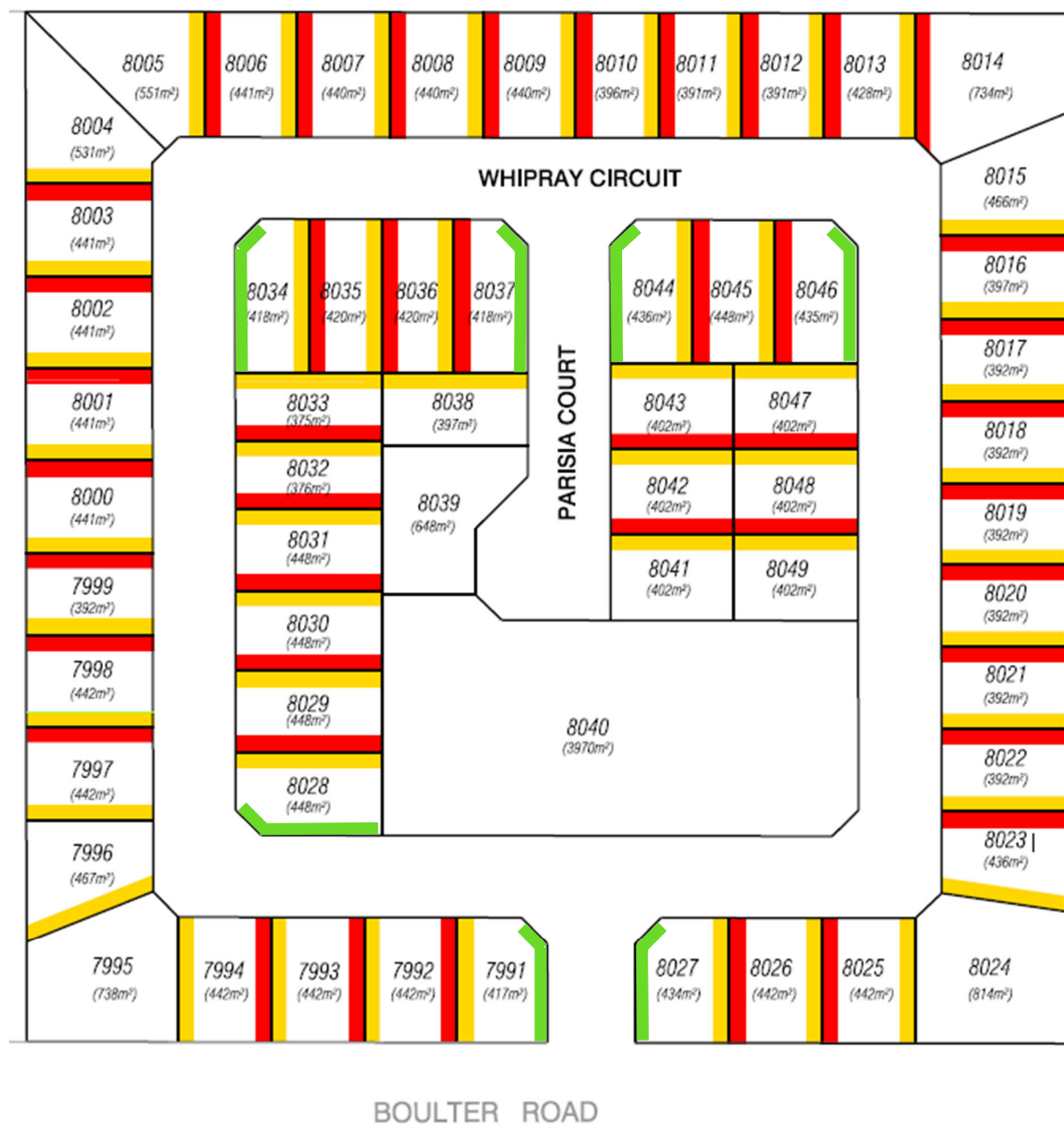
## Schedule 9: Building Setback Plans

1. The building setback plans in this schedule:
  - (a) may be amended from time to time to update street names that are otherwise labelled 'road name'; and
  - (b) are indicative in nature and may not be to scale.

Schedule to Clause 5.4.3: Building Setbacks of Residential Buildings and Ancillary Structures	
Setback Plan Areas	
Boulter Road, Parkside Berrimah	
Zuccoli Aspire Stage 3B	
Zuccoli Aspire Stage 3C	
Zuccoli Aspire Stage 3D	
Zuccoli Aspire Stage 4A	
Zuccoli Aspire Stage 4D	
Lee Point Estate	
Northcrest Stage 2B	
Northcrest Stage 3D	
162 Ryland Road, Rapid Creek	
42 Chapman Road, Rapid Creek	

# Boulter Road, Parkside Berrimah

Sec. 5873



## Legend

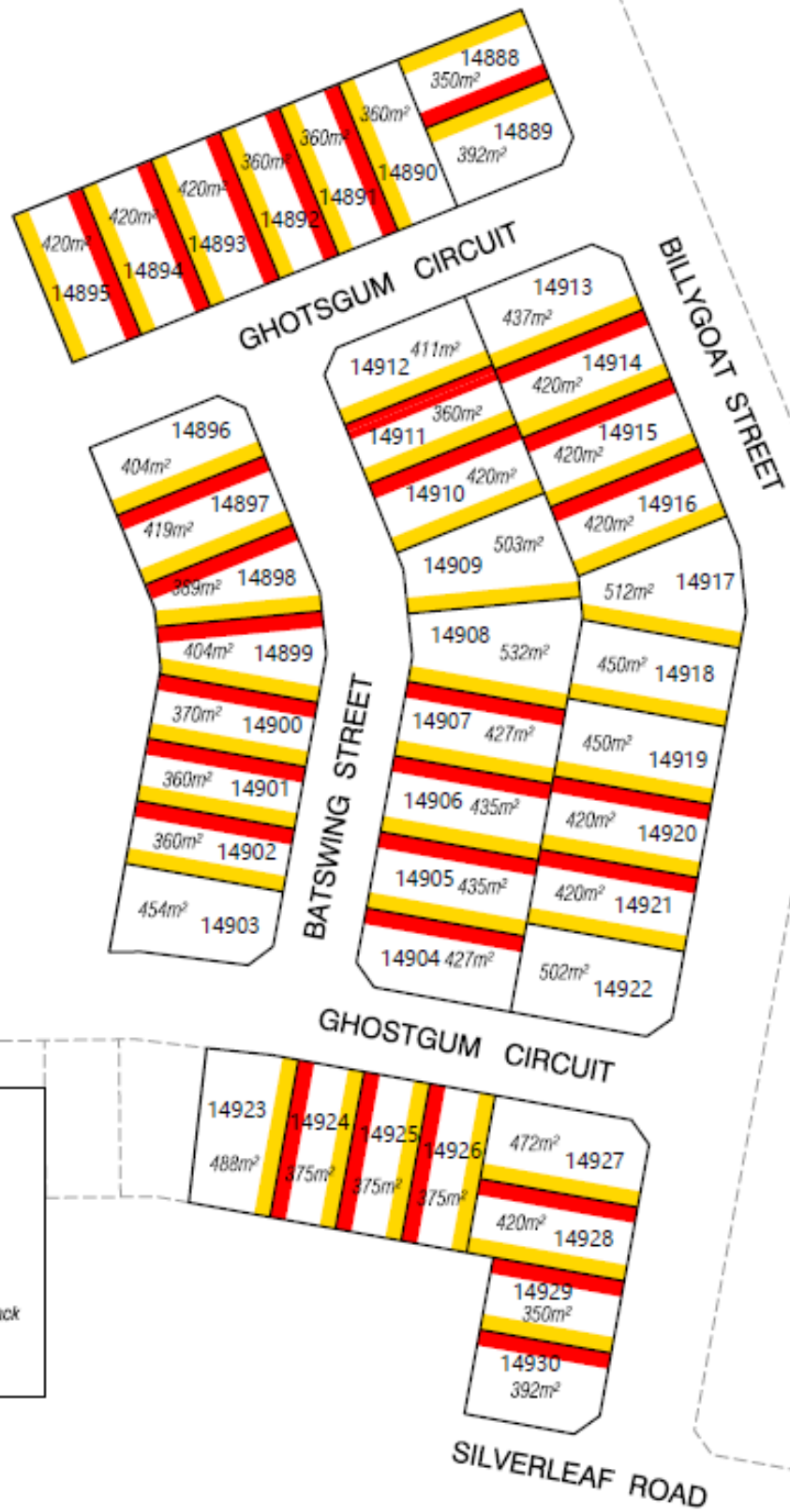
- Lot Boundary
- Zero or 300mm side setback to nominated boundary only
- 1.5m side setback
- 2.5m side setback

NOTE: Unless where identified within this setback plan, all setbacks are to be in accordance with Clause 5.4.3 or 5.4.3.3.

STREET

14506

BLOODWOOD





**Legend**




- Lot Boundary
- Zero or 300mm side setback to nominated boundary only
- 1.5m side setback

*NOTE: Unless where identified within this setback plan, all setbacks are to be in accordance with Clause 5.4.3 or 5.4.3.3.*

12433

SEFRUIT

**Legend**

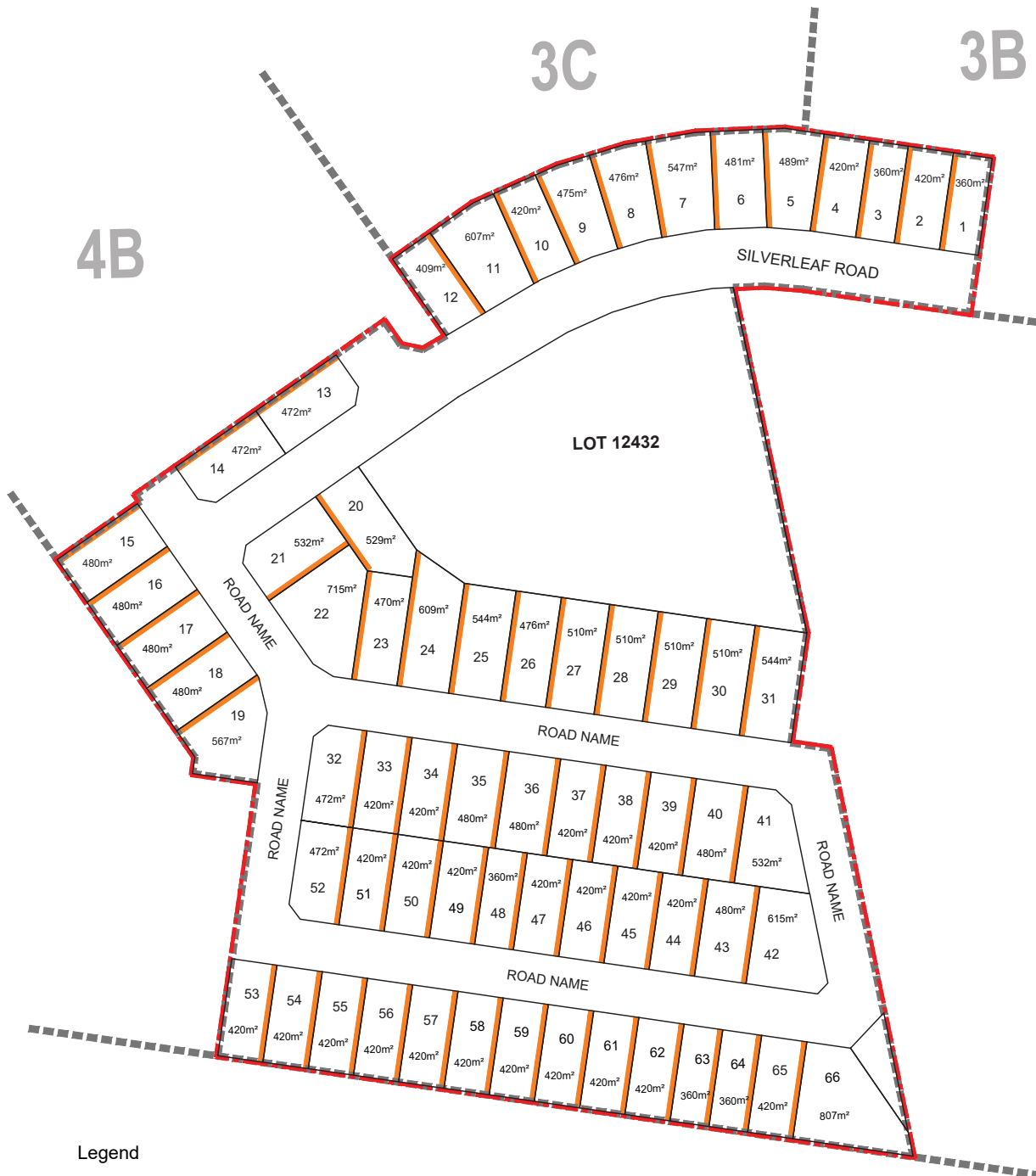
-  Lot Boundary
-  Zero or 300mm side setback to nominated boundary only
-  1.5m side setback

*NOTE: Unless where identified within this setback plan, all setbacks are to be in accordance with Clause 5.4.3 or 5.4.3.3.*





## Zuccoli - Stage 4A



### Legend



## Stage 4A

Existing Lot Boundary

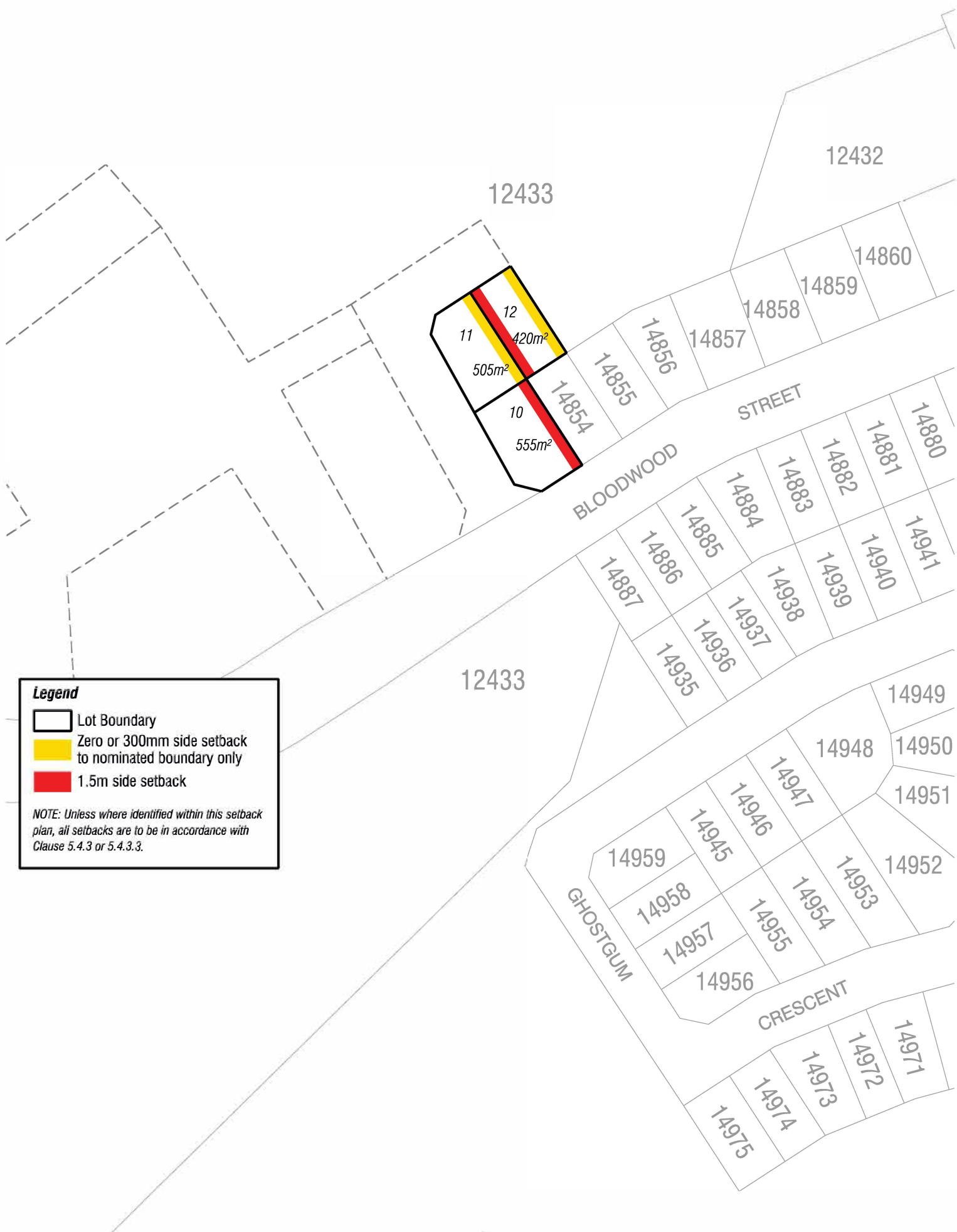
Lot Boundary

Zero or 300mm side setback to nominated boundary only

NOTE:

- 1) All setbacks are to be in accordance with clauses 5.4.3 and 5.4.3.3 within the NTPS, except where otherwise stated.
- 2) The NTPS requires, in the table to clause 5.4.3.3, that lots of 450 - 600m<sup>2</sup> that adopt the zero (or 300mm) setback provided for by that plan) must provide a 3m setback to the opposite boundary.

Zuccoli - Stage 4D



## Lee Point Estate

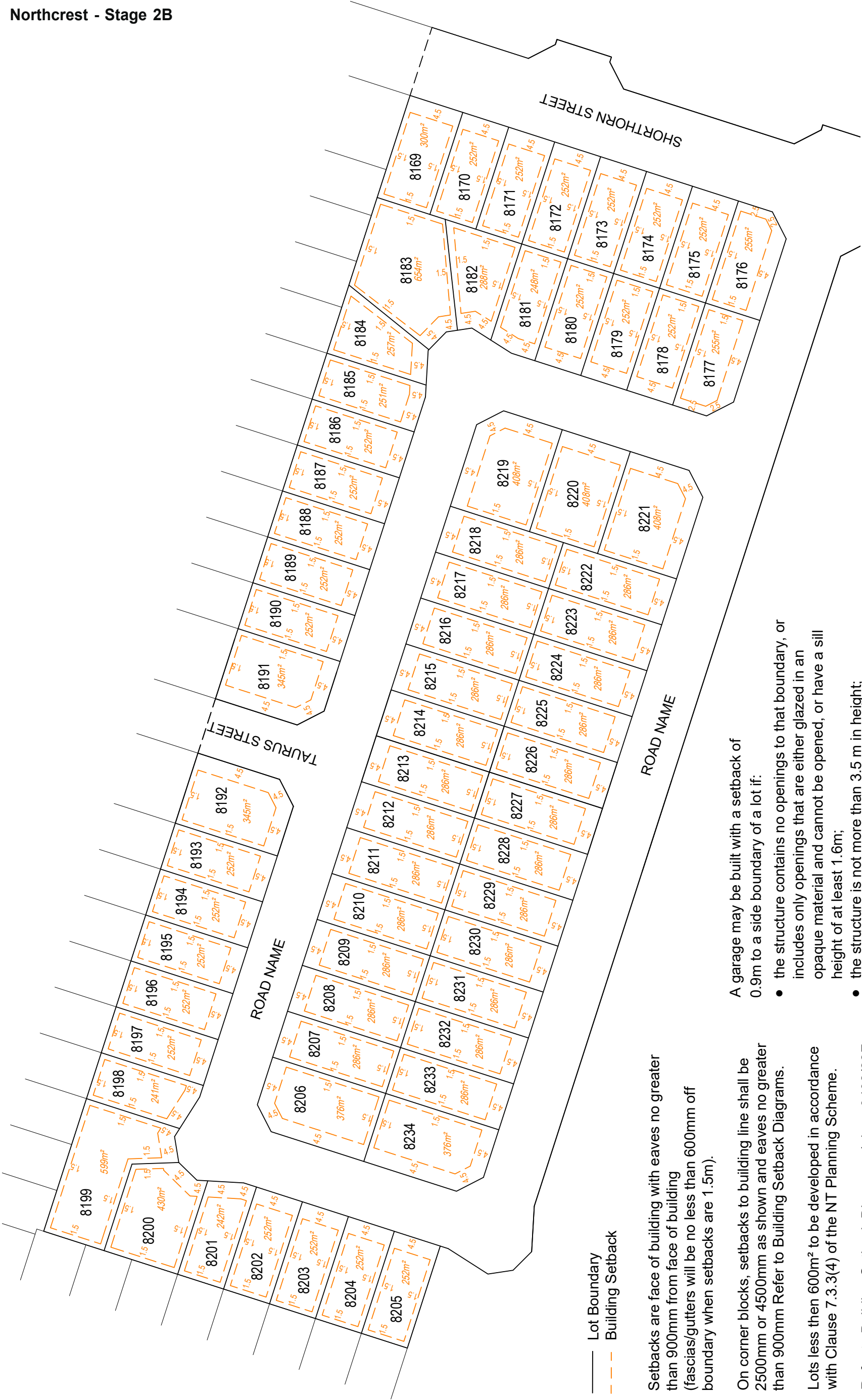


1. The following setbacks apply to any lot identified within the thick black line

Table A – Front and Rear Setback Requirements in Zones LR and LMR	
Lot boundary	Minimum Setback
Primary street frontage	5.5m for a garage or carport
	4.5m for <b>residential buildings</b> and <b>ancillary</b> structures with external walls
	3m for <b>ancillary</b> structures without external walls (excluding carports)
	3m for shade sails, to a maximum height of 2.5m at the minimum setback
Rear lot boundary	4m for <b>residential buildings</b> and <b>ancillary</b> structures with external walls
	3m for <b>ancillary</b> structures without external walls

*NOTE: This setback plan only applies to the primary street frontage and the rear lot boundary.  
All other setbacks are to be in accordance with Clause 5.4.3 or 5.4.3.3 (as applicable)*





## Northcrest - Stage 3D



- Lot Boundary
- - - Building Setback

Setbacks are face of building with eaves no greater than 900mm from face of building (fascias/gutters will be no less than 600mm off boundary when setbacks are 1.5m).

On corner blocks, setbacks to building line shall be 2500mm or 4500mm as shown and eaves no greater than 900mm Refer to Building Setback Diagrams.

A garage may be built with a setback of 0.9m to a side boundary of a lot if:

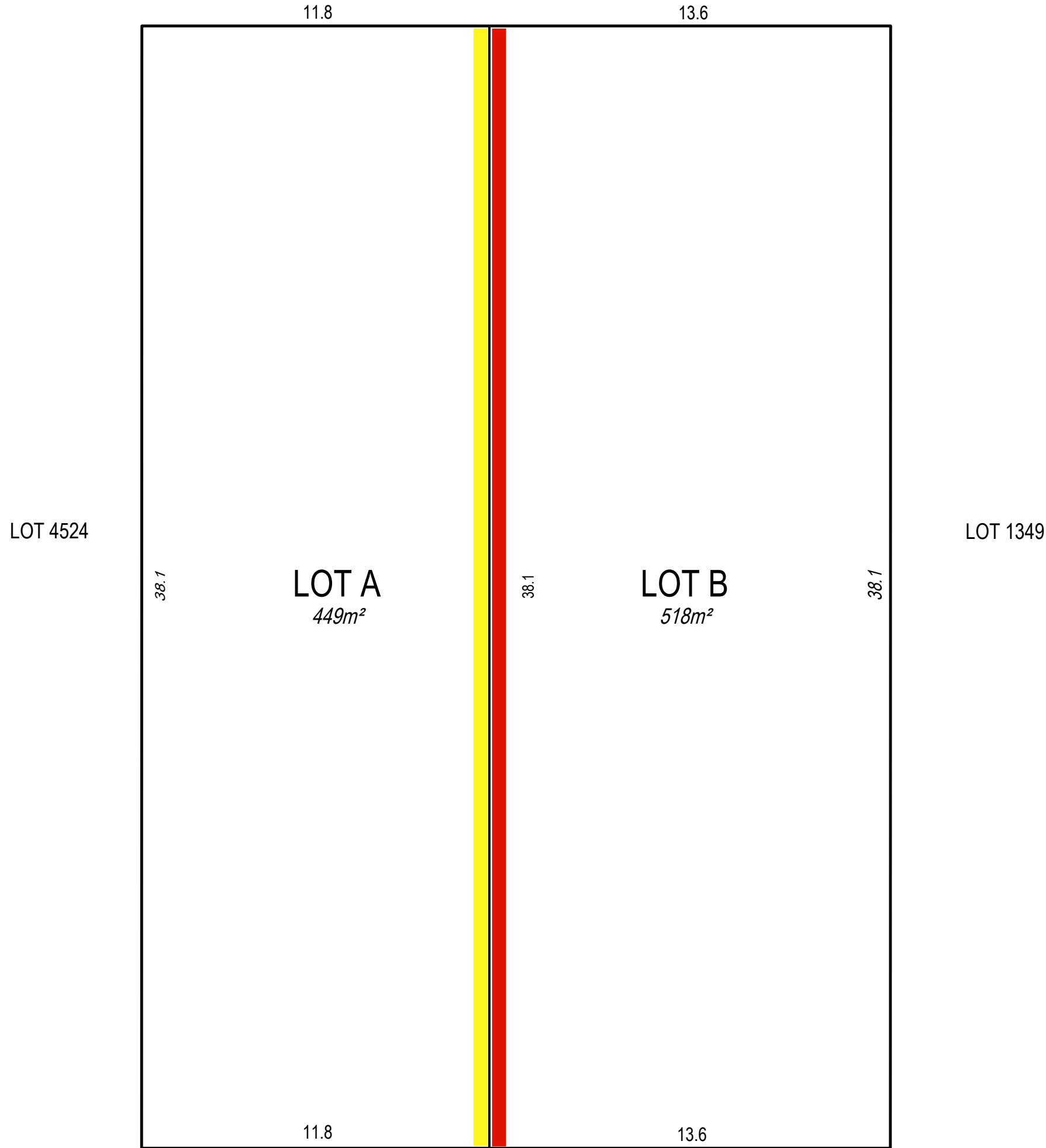
- the structure contains no openings to that boundary, or includes only openings that are either glazed in an opaque material and cannot be opened, or have a sill height of at least 1.6m
- the structure is not more than 3.5 m in height
- the structure does not exceed 9.0 m in length; and
- the structure complies with the Building Code of Australia (BCA).

All areas and dimensions are subject to survey.

A **dwelling-single** on a lot less than 600m² but not less than 300m² may, in accordance with the table to clause 7.3.3(4), have a reduced front setback to **habitable rooms** only providing:

- a) the area of the reduction is to allow an equal increase to the minimum provision of compliant private open space in accordance with clause 5.4.6;
- b) that any **outbuildings**, such as a garage or carport, shall have a front setback no less than 6m; and
- c) a landscaped area is included along the front boundary that will provide visual **amenity** to the public road.

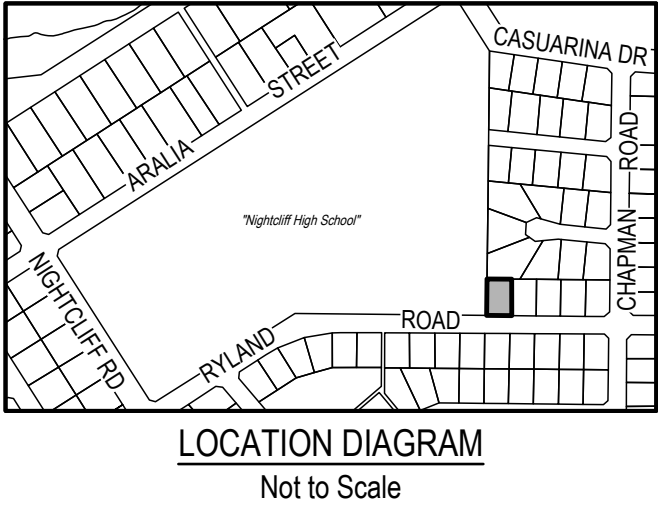
162 Ryland Road, Rapid Creek



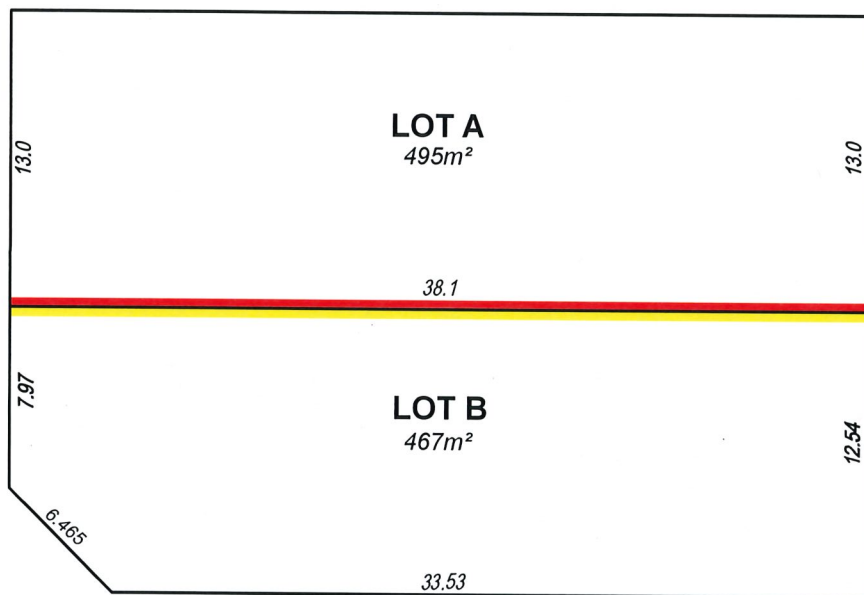
**Legend**

- Lot Boundary
- 300mm side setback for Lot A only
- 1.5m side setback




*NOTE: Unless where identified within this setback plan, all setbacks are to be in accordance with Clause 5.4.3 or 5.4.3.3.*



## 42 Chapman Road, Rapid Creek



### Legend

-  Lot boundary
-  300mm side setback for Lot B only
-  1.5m side setback

NOTE: Unless where identified within this setback plan, all setbacks are to be in accordance with Clause 5.4.3 or 5.4.3.3.