

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act 1999*

AMENDMENT TO NT PLANNING SCHEME

I, EVA DINA LAWLER, Minister for Infrastructure, Planning and Logistics, under sections 25(2)(a) of the *Planning Act 1999*, amend the NT Planning Scheme by making the amendment, specified in the Schedule.

Dated 21<sup>st</sup> August 2019.

  
Minister for Infrastructure, Planning and Logistics

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**SCHEDULE**

**AMENDMENT TO NT PLANNING SCHEME**

**AMENDMENT No. 499**

**1. Citation**

This amendment to the NT Planning Scheme may be cited as Amendment No. 499.

**2. Definition**

In this amendment –

"amending map" means the map, signed by the Minister for Infrastructure, Planning and Logistics and marked "NT Planning Scheme Amendment No. 499", deposited in the office of the Department of Infrastructure, Planning and Logistics, Darwin;

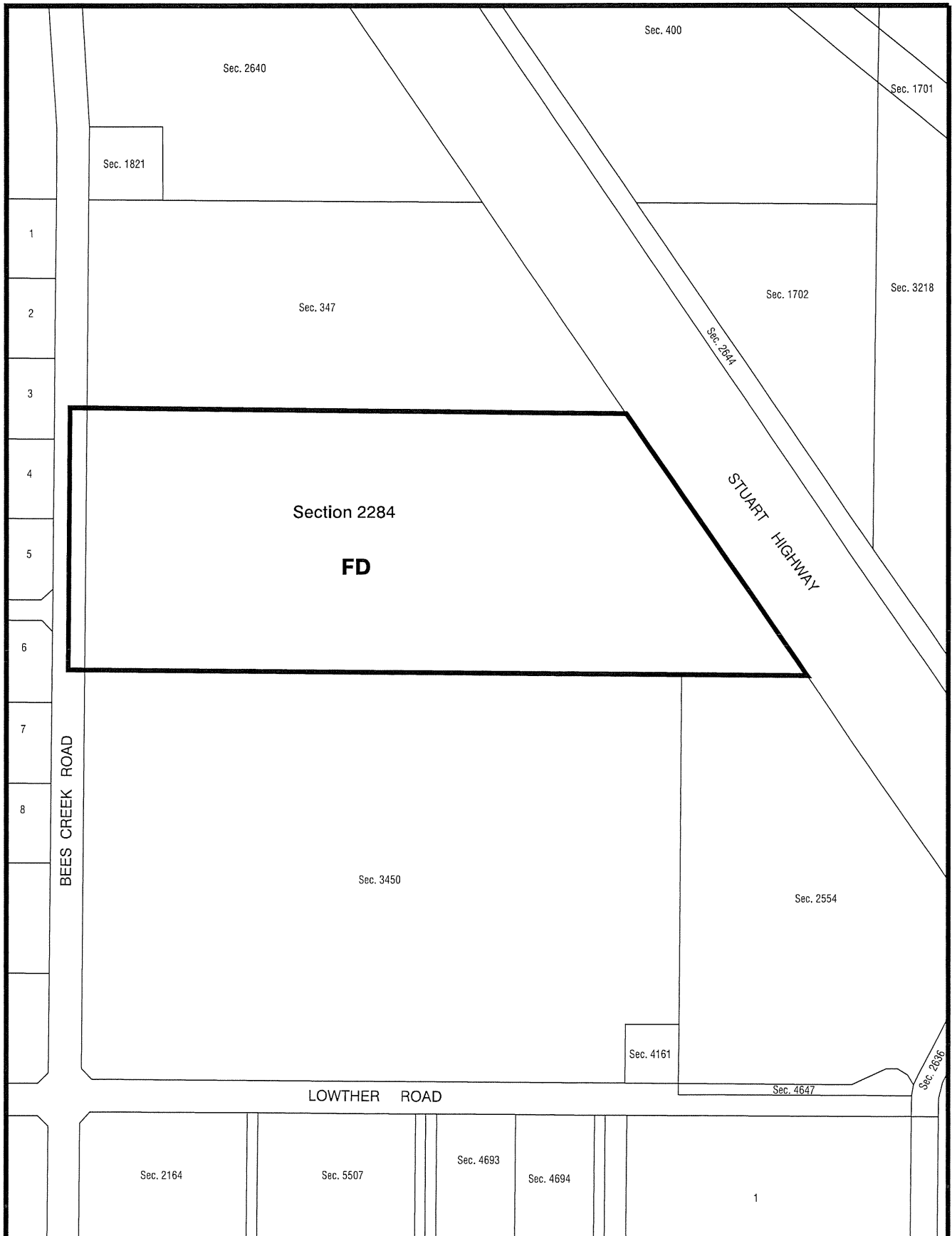
"zoning map" means the zoning map within the meaning of the NT Planning Scheme.

### 3. Amendment of Zoning Map

The NT Planning Scheme is amended by amending the zoning map relating to Litchfield to the extent of its inconsistency with the amending map in respect of the area of land shown on the amending map bounded by a thick black line and lettered FD which is Section 2284 Hundred of Strangways

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NT PLANNING SCHEME  
AMENDMENT No. 499  
REZONE SECTION 2284 HUNDRED OF STRANGWAYS

MINISTER FOR INFRASTRUCTURE, PLANNING AND LOGISTICS

*E. Law*

Date: 21/8/19



Department of Infrastructure, Planning and Logistics

0 50 100 150 200 250m

Scale 1: 5000 @ A4



File No. PA2018/0100

Date: 5-Jul-19

Drawing Name: Sec 2284 PSA Strangways.dgn

**NORTHERN TERRITORY OF AUSTRALIA**

***Planning Act 1999***  
**Section 29**

**Reasons for Decision**

**NORTHERN TERRITORY PLANNING SCHEME**  
**AMENDMENT No. 499**

Section 2284 Hundred of Strangways of 175, Bees Creek Rd, Bees Creek is suitable for rezoning from Zone RL (Rural Living) to Zone FD (Future Development) of the NT Planning Scheme. Specifically, this rezoning is suitable because:

- Zone FD (Future Development) is an interim zone identifying an area that is intended for future rezoning and development in accordance with an Area Plan for the locality. The Draft Area Plan for the Coolalinga and Freds Pass Rural Activity Centre identifies the future development potential of the land as being for rural residential purposes while allowing its interim use for community purposes, provided that such uses does not adversely impact on the rural residential amenity of the locality.
- Placing the land in Zone FD (Future Development) where 'education establishment' and 'temporary accommodation' are consent uses, will allow the Development Consent Authority the opportunity to consider any development proposal for this site against the intentions of the relevant Area Plan, ensuring the proposal is appropriate for the locality.
- Zone FD (Future Development) will also provide Litchfield Council and the community with an opportunity to provide submissions to the Development Consent Authority on any development proposed for the land.
- Zone FD (Future Development) is therefore considered to be an optimal zoning regime for the land, capable of facilitating the establishment of rural residential uses on the land in the future, while in the interim, the land can be used for other suitable community purpose based activities.
- The decision to approve the proposal balances an appropriate outcome for the applicant, the Litchfield Council and submissions lodged in respect of this proposal while facilitating long-term outcomes intended by the Draft Area Plan for the Coolalinga and Freds Pass Rural Activity Centre's policies.



**EVA DINA LAWLER**

Minister for Infrastructure, Planning and Logistics

21 / 8 / 2019