

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act*

AMENDMENT TO NT PLANNING SCHEME

I, GERALD FRANCIS MCCARTHY, the Minister for Lands and Planning, under section 25(2)(a) of the *Planning Act*, amend the NT Planning Scheme by making the amendment, specified in the Schedule.

Dated



2012.

  
Minister for Lands and Planning

**SCHEDULE**

**AMENDMENT TO NT PLANNING SCHEME**

**AMENDMENT NO. 223**

**1. Citation**

This amendment to the NT Planning Scheme may be cited as Amendment No. 223.

**2. Definition**

In this amendment –

"amending map" means the map, signed by the Minister for Lands and Planning and marked "NT Planning Scheme Amendment No. 223", deposited in the office of the Department of Lands and Planning, Darwin;

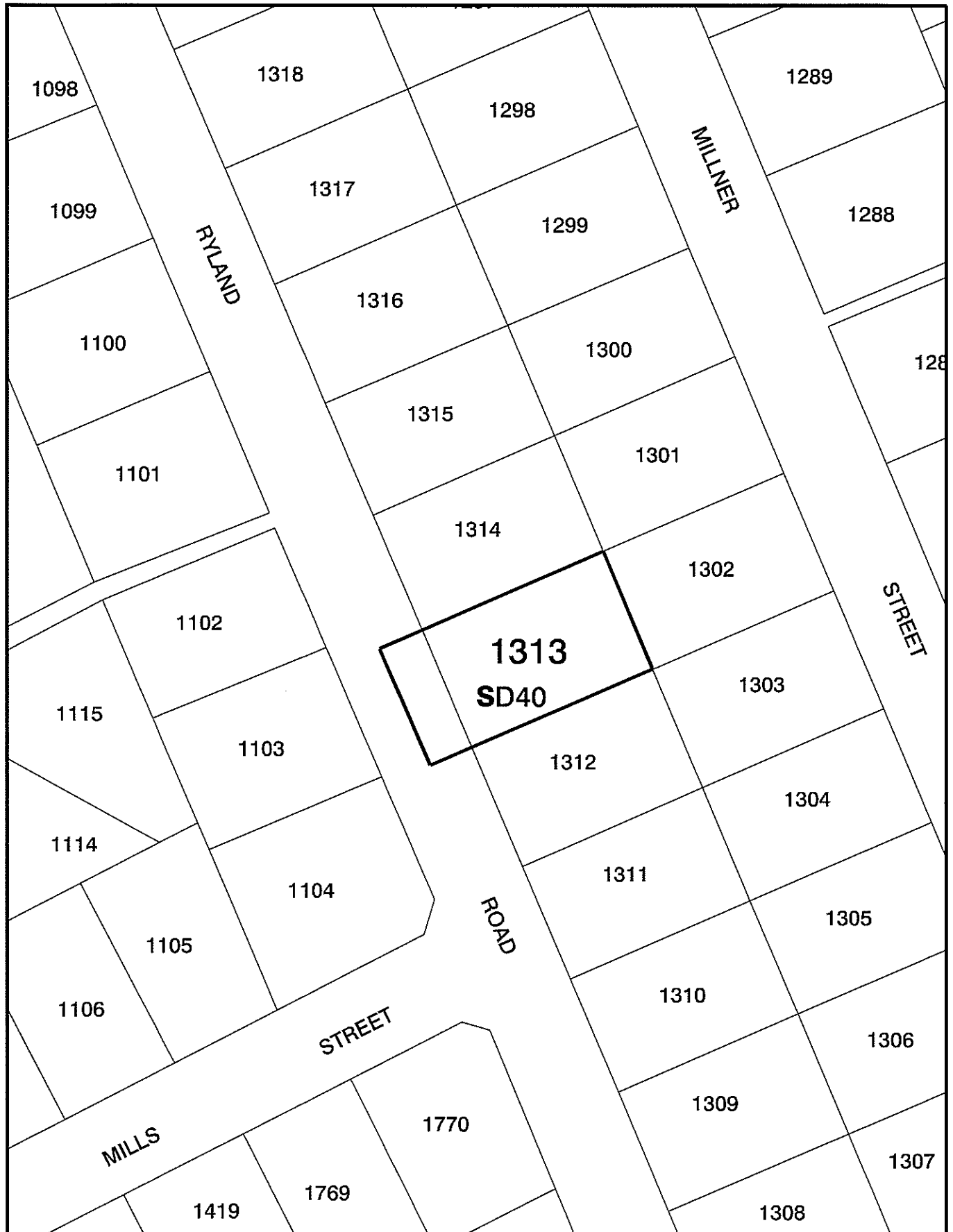
"zoning map" means the zoning map within the meaning of the NT Planning Scheme.

### 3. Amendment of Zoning Map

The NT Planning Scheme is amended by:

- (a) amending the zoning map relating to Darwin to the extent of its inconsistency with the amending map in respect of the area of land shown on the amending map bounded by a thick black line and lettered **SD40** which is Lot 1313 Town of Nightcliff (44 Ryland Road, Millner); and
- (b) amending Schedule 1 to clause 2.4 – Specific Uses to include the following table:

<b>SD40</b>	<p>Lot 1313 Town of Nightcliff (44 Ryland Road, Millner)</p> <ol style="list-style-type: none"><li>1. The purpose of this zone is to facilitate the use and development of the land for single storey, <b>multiple dwellings</b> for seniors and/or people with physical ailments or mobility impairments.</li><li>2. With <b>consent</b> the land may be developed for the purpose of <b>multiple dwellings</b> if the development complies with all other requirements of the Planning Scheme as if the land were Zoned MD (Multiple Dwelling Residential).</li><li>3. If the development does not comply with the listed requirements, the consent authority may <b>consent</b> to a variation of the requirements only if it is satisfied that special circumstances justify the giving of <b>consent</b>.</li><li>4. Despite paragraph 2, the consent authority must not <b>consent</b> to a development that exceeds:<ol style="list-style-type: none"><li>(a) one <b>storey</b> in height; and</li><li>(b) any more than two <b>multiple dwellings</b>.</li></ol></li></ol>
-------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



NT PLANNING SCHEME  
AMENDMENT No. 223  
LOT 1313 TOWN OF NIGHTCLIFF



Northern  
Territory  
Government

Department of Lands & Planning



Scale 1: 1000 @ A4



MINISTER FOR LANDS AND PLANNING

Date

3/5/2012

File No. PA2011/0953

Date: 28-Mar-12

Drawing Name: PSA2011-0953 Lot 1313 Town of Nightcliff.dgn

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act*

**NOTICE OF MAKING OF AMENDMENT TO NT PLANNING SCHEME  
AMENDMENT No. 223**

I, GERALD FRANCIS MCCARTHY, the Minister for Lands and Planning, under section 28(1) of the *Planning Act*, give notice that –

- (a) I have, under section 25(2)(a) of the Act, amended the NT Planning Scheme by rezoning Lot 1313 Town of Darwin from Zone SD (Single Dwelling Residential) to **SD40**; and
- (b) copies of the amendment, (Amendment No. 223), are available from the Offices of the Department of Lands and Planning, Ground Floor, Arnhemica House, 16 Parap Road, Darwin.

Dated



2012



Minister for Lands and Planning

**NORTHERN TERRITORY OF AUSTRALIA**

***Planning Act***  
**Section 29**

**Reasons for Decision**

**NORTHERN TERRITORY PLANNING SCHEME**  
**AMENDMENT No. 223**

Lot 1313 Town of Nightcliff (44 Ryland Road, Millner) is suitable for rezoning from Zone SD (Single Dwelling Residential) to Zone **SD40**.

Specifically, this rezoning is suitable because:

- the location of the site relative to community, commercial and transport services is consistent with planning principles identifying locations for seniors and/or people with physical ailments or mobility impairments;
- the restriction of the development to two multiple dwellings mitigates the possible impact on the character and traffic of the neighbourhood; and
- a specific use zone will best reflect the purpose of the rezoning which is to facilitate construction of two, two bedroom single storey units for seniors, aged pensioners and/ or tenants with physical disabilities and mobility impairments.



**GERALD FRANCIS MCCARTHY**  
Minister for Lands and Planning

3 / 5 / 2012