

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999 - section 40

VARIATION OF EXCEPTIONAL DEVELOPMENT PERMIT

EDP09/0014L

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 11260
Town of Darwin
11 WARATAH CRES, FANNIE BAY

APPROVED PURPOSE

To vary Exceptional Development Permit EDP09/0014J for the purpose of addition of dwelling-group (6 x 3 bedroom) in 6 x single-storey buildings to an existing development (Pearl Retirement Village), in accordance with the attached schedule of conditions and the endorsed plans.

In all other respects Exceptional Development Permit EDP09/0014, and its subsequent variations, remain unchanged.

BASE PERIOD OF THE PERMIT

This permit will lapse two years from the date of issue.

RIGHT OF APPEAL

There is no right of appeal against a determination by the Minister in relation to the variation of an Exceptional Development Permit.



MARK GILLEN MELDRUM
Delegate

12/12/2024

VARIATION OF EXCEPTIONAL DEVELOPMENT PERMIT

EDP09/0014L

SCHEDULE OF CONDITIONS

CONDITIONS PRECEDENT

1. Prior to the commencement of works (including site preparation), a schematic plan demonstrating the on-site collection of stormwater and its discharge into the City of Darwin stormwater drainage system shall be submitted to and approved by the City of Darwin, to the satisfaction of the Minister. The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

GENERAL CONDITIONS

2. The works carried out under this permit shall be in accordance with the drawings numbered 2009/0977/01L through 2009/0977/08L, endorsed as forming part of this permit.
3. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage, and electricity to the development shown on the endorsed plans in accordance with the authorities' requirements and relevant legislation at the time.
4. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the Minister.
5. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to City of Darwin, to the satisfaction of the Minister.
6. Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Minister.
7. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Minister, including that any dead, diseased or damaged plants are to be replaced.
8. The private open space areas of each dwelling shall be screened on each boundary by:
 - (a) the erection of a solid wall or screen fence not less than 1.8 metres high; or
 - (b) fenced to a height not less than 1.8 metres high and planted with dense vegetation.
9. All air conditioning condensers (including any condenser units required to be added or replaced in the future) are to be appropriately screened from public view, located so as to minimise thermal and acoustic impacts on neighbouring properties and condensate disposed of to ground level in a controlled manner to the satisfaction of the Minister.
10. All pipes, fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from view to the satisfaction of the Minister.

11. The finished floor levels of the dwellings must be a minimum of 300mm above the applicable flood level for the property.

Notes

1. The Power and Water Corporation advises that the Water and Sewer Services Development Section (waterdevelopment@powerwater.com.au) and Power Network Engineering Section (powerdevelopment@powerwater.com.au) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
2. This development permit is not an approval to undertake building work. You are advised to contact a Northern Territory registered building certifier to seek a building permit as required by the Northern Territory *Building Act 1993* before commencing any demolition or construction works.
3. The applicant is advised to engage a Northern Territory registered building certifier to ensure that the intended use of any existing buildings or structures is permitted by occupancy certification in accordance with the *Building Act 1993*.
4. Any proposed works which fall within the scope of the *Construction Industry Long Service Leave and Benefits Act 2005* must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email (info@ntbuild.com.au) or by phone on 08 8936 4070 to determine if the proposed works are subject to the Act.

This document contains drawing numbers:
2009/0977/01L to 2009/0977/08L

Referred to in Permit No: EDP09/0014L

Issued by the consent authority on: 12/12/2024

All drawings contained within this document have been authorised
by the delegate of the consent authority.

Delegate

Drawing number 2009/0977/01L

Referred to in Permit No: EDP09/0014L



SITE PLAN DA

1 : 500

SITE PLAN
PEARL STAGE 8 DEVELOPMENT
Waratah Crescent, Fannie Bay NT

2024.11.20
24004 DA-03 3



1700 Swanbury Drive, Darwin NT 0810
24004 DA-03 3 - Fannie Bay, NT
1302 4666 2222



KEY PLAN - TYPE 1 DA
1 : 2000



TYPE 1 - FLOORPLAN DA
1 : 100

1:1 WHEN PRINTED (SCALE)

Drawing number 2009/0977/02L
Referred to in Permit No: EDP09/0014L

TYPE 1 CONCEPT PLAN
PEARL STAGE 8 DEVELOPMENT
Waratah Crescent, Fannie Bay NT

2024.08.20
24004 DA-04 1

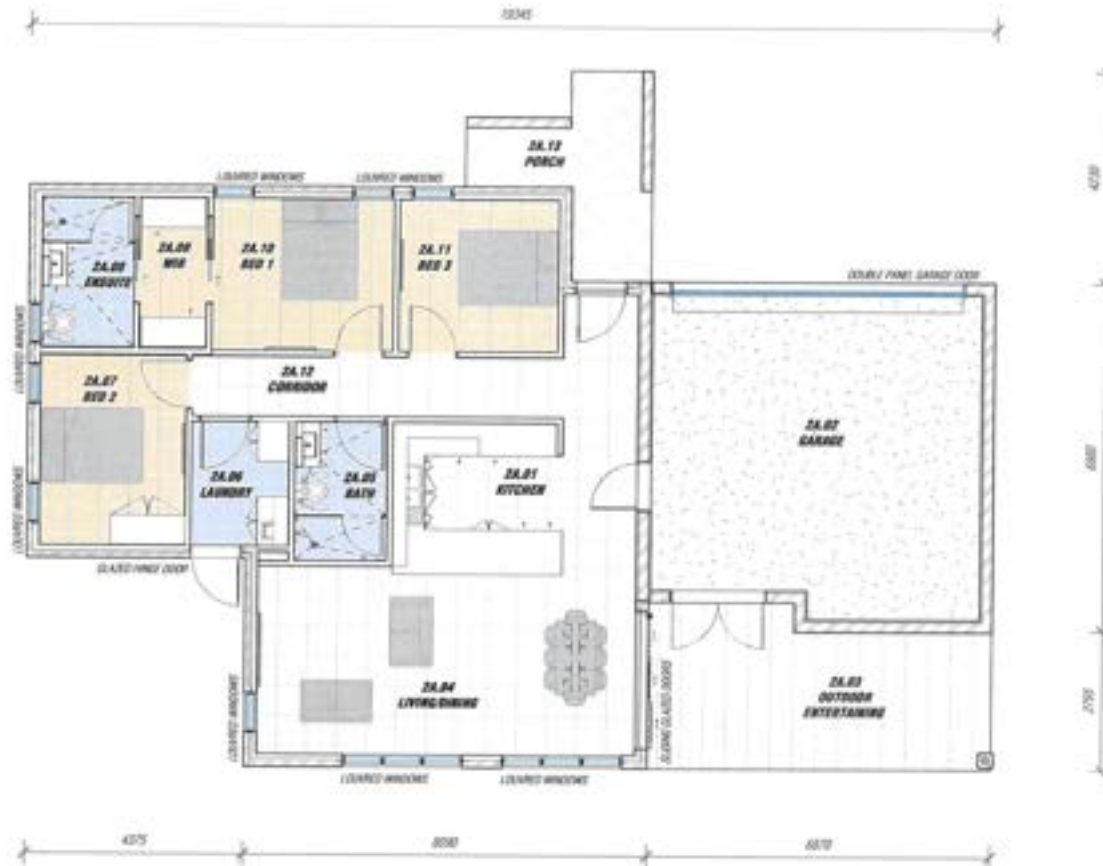


**Swanbury
Penglase**

©/All rights reserved 2024
Plan/24004/24004 - Southern Cross Care
STAGE 8/Block 100/02L/04



KEY PLAN - TYPE 2A DA
1:2000



TYPE 2A - FLOORPLAN DA
1:100

Drawing number 2009/0977/03L
 Referred to in Permit No: EDP09/0014L

TYPE 2A CONCEPT PLAN
PEARL STAGE 8 DEVELOPMENT
 Waratah Crescent, Fannie Bay NT

2024.08.20
24004 DA-05.A 1

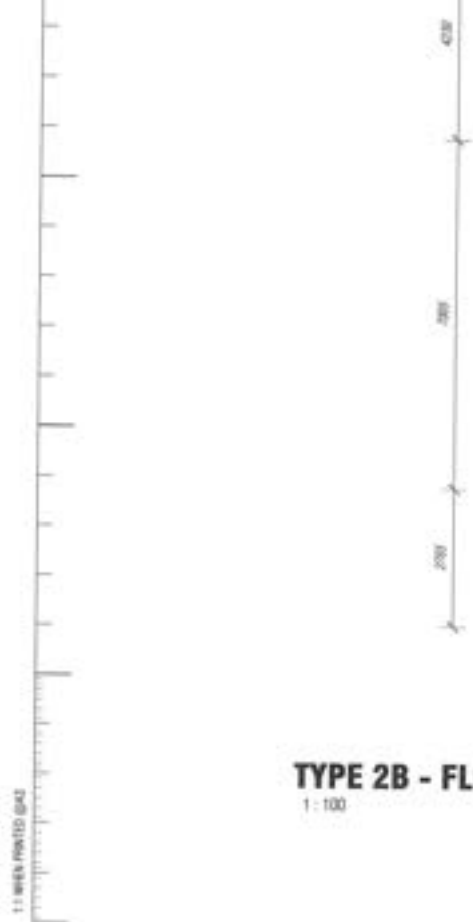


C:\Users\jane\Documents\PEL Local Files\2024\24004 - Swanbury Penglase 2404 24004.dwg (DWG) 2404 24004.dwg (DWG)



KEY PLAN - TYPE 2B DA

1 : 2000



NOTE: TYPE 2B IS A MIRROR OF TYPE 2A



TYPE 2B - FLOORPLAN DA

1 : 100

Drawing number 2009/0977/04L
Referred to in Permit No: EDP09/0014L

TYPE 2B CONCEPT PLAN
PEARL STAGE 8 DEVELOPMENT
Waratah Crescent, Fannie Bay NT

2024.08.20
24004 DA-05.B 1



**Swanbury
Penglase**

C:\Users\j\Documents\2024\24004 DA-05.B 1 - Southern Cross Care
24004 DA-05.B 1 - 07/03/24



KEY PLAN - TYPE 3 DA
1:2000



TYPE 3 - FLOORPLAN DA
1:100

1:10000 PROPOSED ROAD

Drawing number 2009/0977/05L
Referred to in Permit No: EDP09/0014L

TYPE 3 CONCEPT PLAN
PEARL STAGE 8 DEVELOPMENT
Waratah Crescent, Fannie Bay NT

2024.08.20
24004 DA-06 1



**Swanbury
Penglase**

Client: Pearl Stage 8 Development
File: 24004 DA-06 1 - Swanbury Penglase
2024.08.20 10:00 AM (GMT+10)



TYPE 1 ELEVATION 1 VIEW 1
1:100



TYPE 1 ELEVATION 2 VIEW 2
1:100



TYPE 1 ELEVATION 3 VIEW 3
1:100



TYPE 1 ELEVATION 4 VIEW 4
1:100

- EXTERNAL FINISHES**
- DF-01 - 150mm DOWNPIPE FINISH TO MATCH ADJACENT WALL COLOUR
 - EG-01 - BAVED GUTTER - DARK GREY
 - RE-01 - RENDER FINISH COLOURED SURFACET LIGHT BROWN
 - RE-02 - RENDER FINISH COLOURED SURFACET DARK GREY
 - RE-03 - RENDER FINISH COLOURED SURFACET LIGHT GREY
 - RE-04 - RENDER FINISH COLOURED SURFACET DARK GREY
 - RE-05 - RENDER FINISH COLOURED SURFACET BLUE GREY
 - RE-06 - RENDER FINISH COLOURED SURFACET MEDIUM GREY
 - RE-07 - RENDER FINISH COLOURED SURFACET MEDIUM GREY

- WF-01A - ALUMINIUM FRAMED GLAZING FRAME FINISH SURFACET
- WF-01B - ALUMINIUM FRAMED GLAZING FRAME FINISH SURFACET

- AC-01 - CD ROOF METAL ROOF SHEETING FINISH SURFACET
- AC-02 - CD ROOF METAL ROOF SHEETING FINISH SHALE GREY
- AC-03 - CD ROOF METAL ROOF SHEETING FINISH BASALT
- RD-01 - PANEL LIFT DOOR SHEETING FINISH SURFACET
- RD-02 - PANEL LIFT DOOR SHEETING FINISH SHALE GREY
- RD-03 - PANEL LIFT DOOR SHEETING FINISH BASALT

NOTE: REFER TO SITE PLAN FOR LOT EXTERNAL FINISHES COLOUR SCHEME COLOUR SCHEME & SHOWS ON THIS PAGE COLOUR SCHEME & APPLIES TO LOT 3 AND LOT 6

Drawing number 2009/0977/06L
Referred to in Permit No: EDP09/0014L



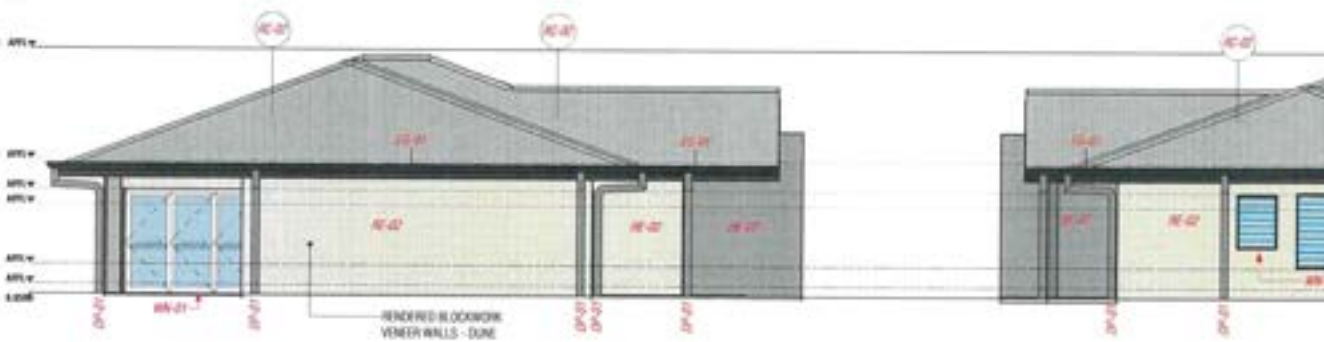
TYPE 2 ELEVATION 1 VIEW 1

1:100



TYPE 2 ELEVATION 2 VIEW 2

1:100



TYPE 2 ELEVATION 3 VIEW 3

1:100

TYPE 2 ELEVATION 4 VIEW 4

1:100

- EXTERNAL FINISHES**
- DP-01 - 150mm DOWNPIPE FINISH TO MATCH ADJACENT WALL COLOUR
 - DP-02 - EXTER GUTTER - DARK GREY
 - RE-01 - RENDER FINISH COLOURS: DUNE LIGHT BROWN
 - RE-02 - RENDER FINISH COLOURS: SURFMASTER LIGHT GREY
 - RE-03 - RENDER FINISH COLOURS: BASALT DARK GREY
 - RE-04 - RENDER FINISH COLOURS: SHALE GREY LIGHT GREY
 - RE-05 - RENDER FINISH COLOURS: WINDSPRAY BLUE HAZE GREY
 - RE-06 - RENDER FINISH COLOURS: WALLART MISTHAM GREY
 - RE-07 - RENDER FINISH COLOURS: BLUESUM MEDIUM GREY

- AW-014 - ALUMINIUM FRAMED GLAZING FRAME FINISH: SURFMASTER
- AW-015 - ALUMINIUM FRAMED GLAZED LOUNGE FRAME FINISH: SURFMASTER

- AC-01 - CO ROOF METAL ROOF SHEETING FINISH: SURFMASTER
- AC-02 - CO ROOF METAL ROOF SHEETING FINISH: SHALE GREY
- AC-03 - CO ROOF METAL ROOF SHEETING FINISH: BASALT
- AD-01 - PANEL LIFT DOOR SHEETING FINISH: SURFMASTER
- AD-02 - PANEL LIFT DOOR SHEETING FINISH: SHALE GREY
- AD-03 - PANEL LIFT DOOR SHEETING FINISH: BASALT

NOTE: REFER TO SITE PLAN FOR LET EXTERNAL FINISHES COLOUR SCHEME COLOUR SCHEME B SHOWN ON THIS PAGE COLOUR SCHEME B APPLIES TO LOT 2 & LOT 4

Drawing number 2009/0977/07L
 Referred to in Permit No: EDP09/0014L

TYPE 2 CONCEPT ELEVATIONS
PEARL STAGE 8 DEVELOPMENT
 Waratah Crescent, Fannie Bay NT

2024.08.20
 24004 DA-08 1



©/Location /Access/MSD Local File/2024/24004 - Southern Cross Care SWAG - 01/08/2024



TYPE 3 ELEVATION 1 VIEW 1

1 : 100



TYPE 3 ELEVATION 2 VIEW 2

1 : 100



TYPE 3 ELEVATION 3 VIEW 3

1 : 100



TYPE 3 ELEVATION 4 VIEW 4

1 : 100

- EXTERNAL FINISHES**
- DF-01 - 150mm DOWNPIPE FINISH TO MATCH ADJACENT WALL COLOUR
 - FD-01 - FENCES GUTTER - DARK GREY
 - RE-01 - RENDER FINISH COLOURBOND SUNE LIGHT SPKWN
 - RE-02 - RENDER FINISH COLOURBOND SURFMAT LIGHT GREY
 - RE-03 - RENDER FINISH COLOURBOND BASALT DARK GREY
 - RE-04 - RENDER FINISH COLOURBOND BASALT LIGHT GREY
 - RE-05 - RENDER FINISH COLOURBOND BASALT MEDIUM GREY
 - RE-06 - RENDER FINISH COLOURBOND WINDSPRIP BLUE HUE GREY
 - RE-07 - RENDER FINISH COLOURBOND WINDSPRIP MEDIUM GREY
 - RE-08 - RENDER FINISH COLOURBOND WINDSPRIP MEDIUM GREY

- BN-01 - ALUMINIUM FRAMED GLAZING FRAME FINISH SURFMAT
- BN-02 - ALUMINIUM FRAMED GLAZING FRAME FINISH SURFMAT

- RC-01 - COI ROOF METAL ROOF SHEETING FINISH SURFMAT
- RC-02 - COI ROOF METAL ROOF SHEETING FINISH SHALE GREY
- RC-03 - COI ROOF METAL ROOF SHEETING FINISH BASALT
- RC-04 - PANEL LIFT DOOR SHEETING FINISH SURFMAT
- RC-05 - PANEL LIFT DOOR SHEETING FINISH SHALE GREY
- RC-06 - PANEL LIFT DOOR SHEETING FINISH BASALT

NOTE: REFER TO SITE PLAN FOR LOT EXTERNAL FINISHES COLOUR SCHEME COLOUR SCHEME C SHOWN ON THIS PAGE COLOUR SCHEME C APPLIES TO LOT 1 AND LOT 5

Drawing number 2009/0977/08L
 Referred to in Permit No: EDP09/0014L

TYPE 1 CONCEPT ELEVATIONS
PEARL STAGE 8 DEVELOPMENT
 Waratah Crescent, Fannie Bay NT

2024.08.20
24004 DA-09 1



© Swanbury Penglase Pty Ltd
 Level 2/57-59 Sturt Street - Southern Cross Centre
 (08) 8231 1111