

**NORTHERN TERRITORY OF AUSTRALIA**

*Planning Act 1999 - section 40*

**EXCEPTIONAL DEVELOPMENT PERMIT**

EDP24/0008

**DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT**

Lot 05773  
Town of Alice Springs  
20 MUELLER ST, EAST SIDE

**APPROVED PURPOSE**

To use and develop the land for the purpose of Dwellings-Group (2 x 3 bedroom) in 2 x 1 storey buildings, in accordance with the attached schedule of conditions and the endorsed plans.

**BASE PERIOD OF THE PERMIT**

This permit will expire if one of the following circumstances applies:

- (a) the development is not started within two years of the date of this permit; or
- (b) the development is not completed within four years of the date of this permit.

The Minister may extend the periods referred to if an application is made in the approved form before the permit expires.

**RIGHT OF APPEAL**

There is no right of appeal against a determination by the Minister in relation to the grant or variation of an Exceptional Development Permit.

**JOSHUA ROLAND BURGoyNE**  
Minister for Lands, Planning and Environment

7 / 10 / 2024

## EXCEPTIONAL DEVELOPMENT PERMIT

EDP24/0008

### SCHEDULE OF CONDITIONS

1. The works carried out under this permit shall be in accordance with the drawings numbered 2023/0157/01 through to 2023/0157/12 endorsed as forming part of this permit.
2. Before the use/occupation of the development starts, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Minister.
3. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Minister, including that any dead, diseased or damaged plants are to be replaced.
4. The areas set-aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
  - (a) constructed;
  - (b) properly formed to such levels that they can be used in accordance with the plans;
  - (c) surfaced with an all-weather-seal coat;
  - (d) drained; and
  - (e) line marked (or otherwise suitably delineated) to indicate each car space;to the satisfaction of the Minister. Car spaces, access lanes and driveways must be kept available for these purposes at all times.
5. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, sewerage, electricity and telecommunications services to the development shown on the endorsed plans in accordance with the authorities' requirements and relevant legislation at the time. Please refer to notations 2, 3 and 4 for further information.
6. Prior to the use/occupation of the development and connection of services (i.e. power and water), the owner of the land must apply for street (unit number) addressing from the Surveyor-General of the Northern Territory. This will form the legal address and will be required to be placed on the meters within the development in accordance with the allocation. A Certificate of Compliance (section 43D of the Planning Act 1999) will not be able to be granted until such time as addressing is obtained."
7. Confirmation shall be provided to Development Assessment Services (in the form of an email addressed to the Power and Water Corporation) from a suitable qualified professional confirming that all new number labels have been correctly installed at the Customer's Metering Panel(s) and water meters (where applicable). Please provide a copy of an email addressed to both [waterdevelopment@powerwater.com.au](mailto:waterdevelopment@powerwater.com.au) and [powerconnections@powerwater.com.au](mailto:powerconnections@powerwater.com.au).
8. All existing and proposed easements and sites for existing and required utility services must be vested in the relevant authority for which the easement or site is to be created.
9. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the Minister.

10. Stormwater is to be collected and discharged into the drainage network to the technical standards of and at no cost to Alice Springs Town Council to the satisfaction of the Minister.
11. No fence, hedge, tree or other obstruction exceeding a height of 0.6m is to be planted or erected so that it would obscure sight lines at the junction of the driveway and the public street, in accordance with the requirements of Alice Springs Town Council, to the satisfaction of the Minister.
12. The kerb crossover and driveway to the site approved by this permit are to meet the technical standards of Alice Springs Town Council, to the satisfaction of the Minister.
13. The finished floor levels of "habitable rooms" of the new dwelling must be no lower than 577.25 metres Australian Height Datum (AHD) which is 300mm above the applicable 1% AEP flood level for the property (i.e. 576.95m AHD). The developer shall demonstrate compliance with this condition by providing "as constructed" finished floor levels of the dwelling, confirmed by a Licensed Surveyor. This condition is to the satisfaction of the Minister.

**NOTES:**

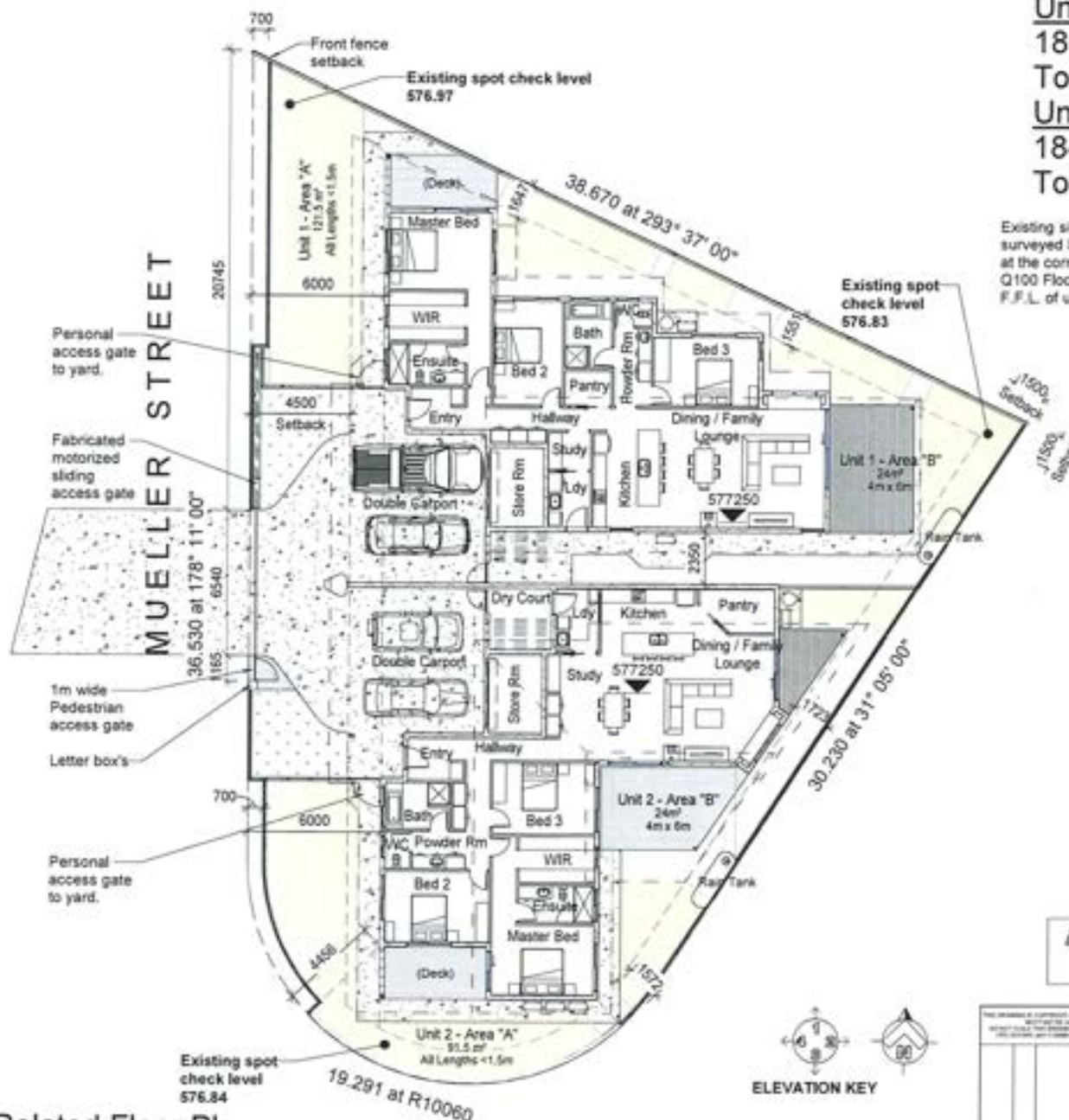
1. This Exceptional Development Permit does not grant "building approval" for building works/structures or the land use, and you are advised to contact a registered private Building Certifier to ensure that you have attained all necessary approvals before commencing construction works or the use.
2. The Power and Water Corporation advises that the Water and Sewer Services Development Section ([waterdevelopment@powerwater.com.au](mailto:waterdevelopment@powerwater.com.au)) and Power Network Engineering Section ([powerconnections@powerwater.com.au](mailto:powerconnections@powerwater.com.au)) should be contacted via email a minimum of 1 month prior to construction works commencing in order to determine the Corporation's servicing requirements, and the need for upgrading of on-site and/or surrounding infrastructure.
3. All developers, including owner-builders, are required to comply with Commonwealth telecommunications requirements. Under Commonwealth law, developers are generally required to provide fibre-ready pit and pipe in their developments at their expense. Developers may be able to access an exemption from these arrangements in some circumstances. For more information visit [www.infrastructure.gov.au/tind](http://www.infrastructure.gov.au/tind)
4. If you choose nbn to service your development, you will need to enter into a development agreement with nbn. The first step is to register the development via <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments.html> once registered nbn will be in contact to discuss the specific requirements for the development. Nbn requires you to apply at least 3 months before any civil works commence. All telecommunications infrastructure should be built to nbn guidelines found at <http://www.nbnco.com.au/develop-or-plan-with-the-nbn/new-developments/builders-designers.html>
5. The Department of Environment, Parks and Water Security advises that construction work should be conducted in accordance with the Authority's Noise Guidelines for Development Sites in the Northern Territory. The guidelines specify that on-site construction activities are restricted to between 7am and 7pm Monday to Saturday and 9am to 6pm Sunday and Public Holidays. For construction activities outside these hours refer to the guidelines for further information.

6. Any proposed works which fall within the scope of the Construction Industry Long Service Leave and Benefits Act 2005 must be notified to NT Build by lodgement of the required Project Notification Form. Payment of any levy must be made prior to the commencement of any construction activity. NT Build should be contacted via email ([info@ntbuild.com.au](mailto:info@ntbuild.com.au)) or by phone on 08 89364070 to determine if the proposed works are subject to the Act.
7. The Aboriginal Areas Protection Authority recommends that the permit holder obtain an Authority Certificate to indemnify against prosecution under the Northern Territory Aboriginal Sacred Sites Act 1989. For advice on how to obtain a certificate please contact the Aboriginal Areas Protection Authority.
8. A "Permit to Work Within a Road Reserve" will be required from Alice Springs Town Council for works with the Mueller Street road reserve, or similar from the Department of Lands, Planning and Environment in respect to Lot 8164 (Crown land), before commencement of any work within or adjacent to respective lands.



**JOSHUA ROLAND BURGOYNE**  
Minister for Lands, Planning and Environment

7 / 10 / 2024



**Unit 1**  
 180m<sup>2</sup> (+ 9m<sup>2</sup> Store) (+ 40m<sup>2</sup> Garage)  
 Total = 229m<sup>2</sup> with a Yard = 533m<sup>2</sup>

**Unit 2**  
 184m<sup>2</sup> (+ 9m<sup>2</sup> Store) (+ 40m<sup>2</sup> Garage)  
 Total = 233m<sup>2</sup> with a Yard = 487m<sup>2</sup>

Existing site is relatively Flat with Existing Natural Ground Level (NGL) spot check heights surveyed by Licensed surveyor Brian Blakeman Surveys ranging between 576.97 and 576.83 at the corners of the property.  
 Q100 Flood level for the site has been determined as 576.950 by Brian Blakeman Surveys  
 F.F.L. of units has been established as 300mm above the Q100 level at 577.250

This document contains drawing numbers:  
 2023/0157/01 to 2023/0157/12

Referred to in Permit No: EDP24/0008

Issued by the Minister on: 7/10/24

All drawings contained within this document have been authorised by a Delegate of the Minister.

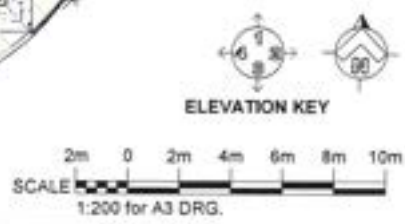
*[Signature]*  
 Minister for Lands, Planning and Environment

Private Open Space Table	
Mark	Area
Unit 1 - Area "A"	121.5 m <sup>2</sup>
Unit 1 - Area "B"	24m <sup>2</sup>
Unit 2 - Area "A"	91.5 m <sup>2</sup>
Unit 2 - Area "B"	24m <sup>2</sup>

Drawing number 2023/0157/01  
 Referred to in Permit No: EDP24/0008

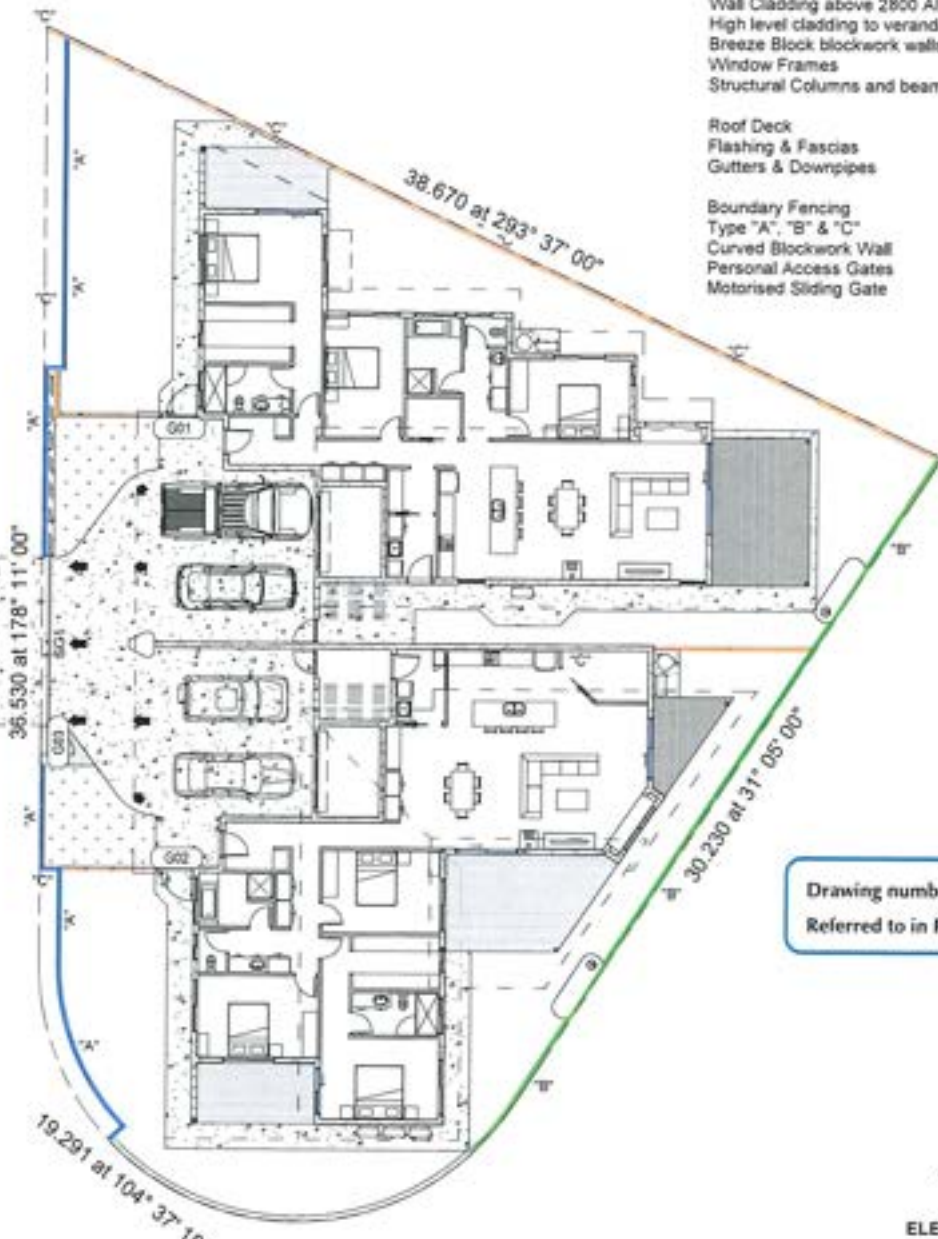
**EXCEPTIONAL DEVELOPMENT PERMIT APPLICATION**

Site Related Floor Plan  
 Scale 1 : 200



	Proposed Development For F. Bonanno Lot 5773 / 30 Mueller Street Alice Springs Town Planning Services Site Related Floor Plan
	Scale: 1:200 @ A3 Drawing: 3147-TP02_WD Date: 07/10/24

MUELLER STREET



**Proposed Colour Scheme**

Blockwork Walls to 2800 AFFL  
 Wall Cladding above 2800 AFFL  
 High level cladding to veranda's  
 Breeze Block blockwork walls  
 Window Frames  
 Structural Columns and beams

Roof Deck  
 Flashing & Fascias  
 Gutters & Downpipes

Boundary Fencing  
 Type "A", "B" & "C"  
 Curved Blockwork Wall  
 Personal Access Gates  
 Motorised Sliding Gate

Texture render Finish - Wattle Silk Noil  
 1200mm wide James Hardi Easylap panels painted - Wattle Silk Noil  
 Perforated Custom Orb - Zincalume  
 Paint - White  
 Powdercoat - White  
 Paint - Dulux Harold

Custom Orb - Zincalume  
 Pressed metal - Zincalume  
 Pressed metal - Zincalume

Vertical Custom Orb - Zincalume  
 Texture render Finish - Wattle Silk Noil  
 Vertical Custom Orb - Zincalume  
 Powder Coat - Dulux Harold

**Colour Samples**

-  Wattle Silk Noil
-  Paint - Dulux Harold
-  Custom Orb - Zincalume
-  Pressed metal - Zincalume

**1800 high Privacy Fence Legend**

Refer to fencing details on Drawings 3147-TP12\_WD

- "A" Denotes 1800mm high privacy fence with bottom 600mm portion to be 50x50 mesh within frame and top 1200mm portion to be perforated custom orb cladding installed horizontally.
- "B" Denotes 1800mm high privacy fence with top 600mm portion to be 50x50 mesh within frame and bottom 1200mm portion to be perforated custom orb cladding installed horizontally.
- "C" Denotes 1800mm high privacy fence, full height custom orb cladding installed horizontally.

- G01 to G03 Denotes personal access gates to units rear yard.
- SG1 Denotes motorised sliding gate for vehicular access.

**Ground Surface Finishes**

Selected sealed concrete to driveway and carports. Selected concrete to footpaths/moving strips around units. Refer to Landscaping plan 3147-TP05\_WD for mulching definitions.  
 Note: In-ground irrigation system to all landscaping.

**Drainage Legend**

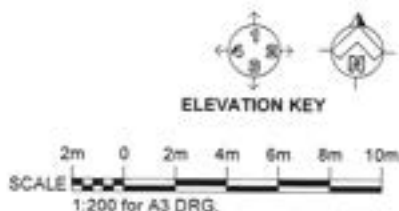
-  Denotes direction of stormwater drainage.

Drawing number 2023/0157/02  
 Referred to in Permit No: EDP24/0008

**EXCEPTIONAL DEVELOPMENT PERMIT APPLICATION**

**Fencing / Gate Site Plan**

Scale 1 : 200

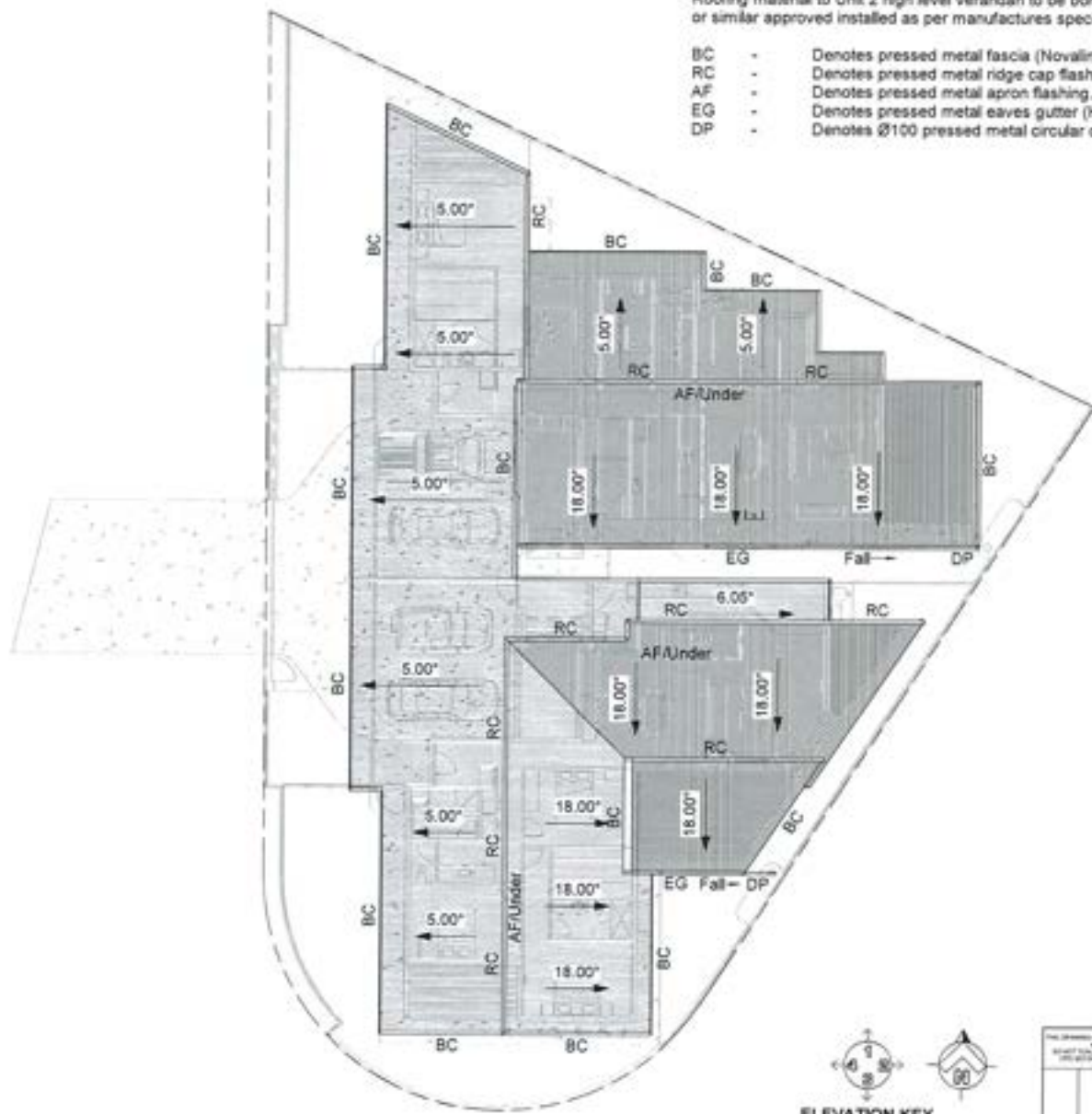


		From The Proposed Development For F. Bonanni Lot 5773 / 20 Mueller Street Alice Springs Town Planning Services Fencing / Gate Site Plan
Sheet S.C.	Rev	A.2.H.
No. 3147	Rev	TP03 or TP13
Scale 1 : 200 @ A3		
1:40 (B.P.C) 2nd	3:40 (B.P.C) 3rd	10:00 (B.P.C) 4th
1:40 (B.P.C) 5th	4:40 (B.P.C) 6th	4:40 (B.P.C) 7th
Project No: 3147-TP05_WD		Date: 0

LEGEND:

Roofing material to be selected colorbond Custom-Orb roof sheeting complete with pressed metal cappings and flashings or similar approved installed as per manufacturers specifications.  
 Roofing material to Unit 2 high level verandah to be bondor 100 Solorpanel complete with pressed metal cappings and flashings or similar approved installed as per manufactures specifications.

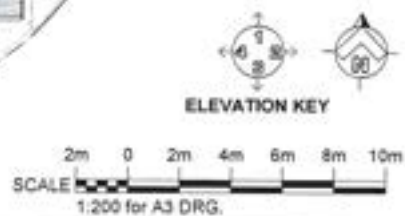
- BC - Denotes pressed metal fascia (Novaline or similar approved) with pressed metal barge cap flashing.
- RC - Denotes pressed metal ridge cap flashing.
- AF - Denotes pressed metal apron flashing.
- EG - Denotes pressed metal eaves gutter (Half Round or similar approved) with concealed fixing brackets to pressed metal fascia.
- DP - Denotes Ø100 pressed metal circular downpipes connected to selected rainwater tank.



Drawing number 2023/0157/03  
 Referred to in Permit No: EDP24/0008

**EXCEPTIONAL DEVELOPMENT  
 PERMIT APPLICATION**

Site Related Roofing Plan  
 Scale 1 : 200



		Project No: Proposed Development For K. Bonanni Lot 5773 / 20 Mueller Street Alice Springs Town Planning Services Roofing Plan	
Street S.C.	Plan	As Indicated @ A3	Rev
TP 3147	TP04 or TP13		
1st (S) P.C. No.	2nd (S) P.C. No.	3rd (S) P.C. No.	4th (S) P.C. No.
1st (S) P.C. No.	2nd (S) P.C. No.	3rd (S) P.C. No.	4th (S) P.C. No.
3147-TP04_WD			0

MUELLER STREET

36.530 at 178° 11' 00"

38.670 at 293° 37' 00"

30.230 at 31° 05' 00"

19.291 at 104° 37' 18"

Landscaping Plan

Scale 1 : 200

Drawing number 2023/0157/04  
 Referred to in Permit No: EDP24/0008

ELEVATION KEY



Landscape Legend

Mark	Botanical Name	Common Name	Height x Width	Quantity
1	Acacia coleii	Cole's wattle	4m x 3m	4
2	Eucalyptus lucen	Shiny-leaved mallee	3-5m x 4m	2
3	Eremophila maculata	Spotted emu brush	1.5m x 1.5m	16
4	Melaleuca fauciicola	Desert bottlebrush	1.5m x 1.5m	32
5	Pyrostegia venusta	Orange trumpet vine	2.5m x 4m	1
6	Eremophila glabra	Bec Rice fuschia	0.5m x 1m	14
7	Acacia desmondii	Des Nelson wattle	4m x 3m	13
8	Acacia jennerae	Coonavittra wattle	3-4m x 2-3m	17
9	Eucalyptus victrix	Western coolibah	5-7m x 3-4m	1
10	Myoporum parvifolium	Creeping boobialla	0.25m x 1.25m	18

LEGEND

Tree	
Shrub	
Ground cover	
Creeper	
Organic mulch	
Screened river sand	
River rubble 20/40	

**EXCEPTIONAL DEVELOPMENT  
 PERMIT APPLICATION**

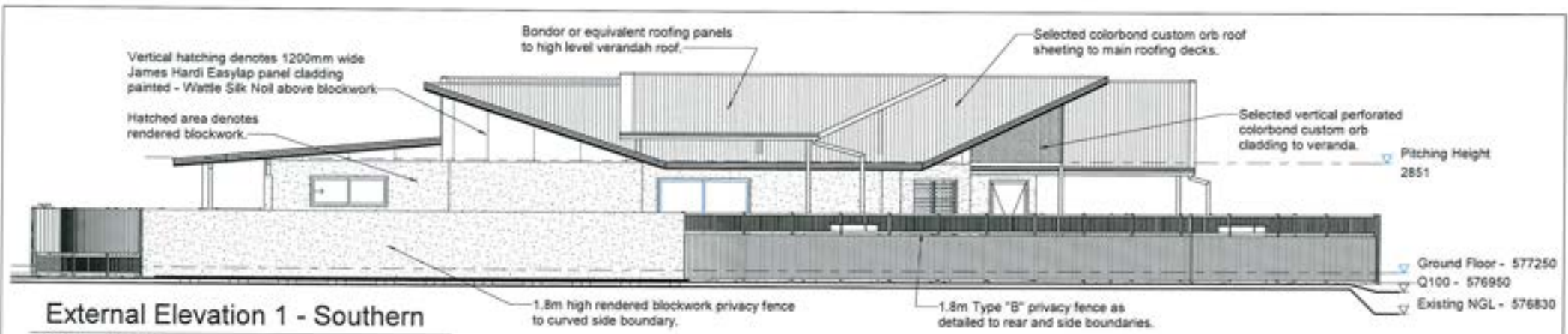
<p>THIS DOCUMENT IS UNCLASSIFIED AND IS AVAILABLE TO THE PUBLIC. ANY AND ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED AND IS AVAILABLE TO THE PUBLIC.</p>
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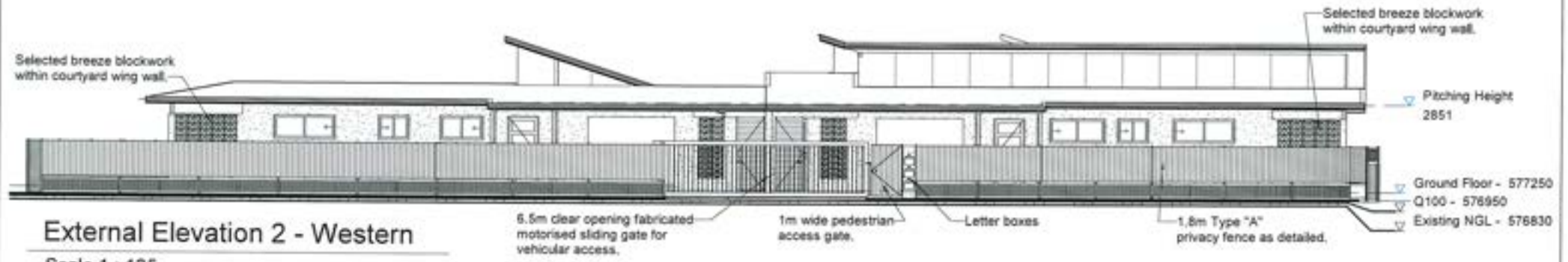
Project No: Proposed Development For F. Bonann Lot 5773 / 20 Mueller Street Alice Springs Town Planning Services Landscaping Plan	
Drawn: S.C. No: 3147	Title: A.J.H. No: TP05 or TP13
Scale: 1:200 @ A3	
Drawing No: 3147-TP05_WD	
Date: 0	





**External Elevation 1 - Southern**

Scale 1 : 100

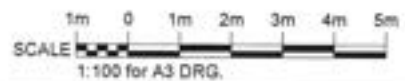


**External Elevation 2 - Western**

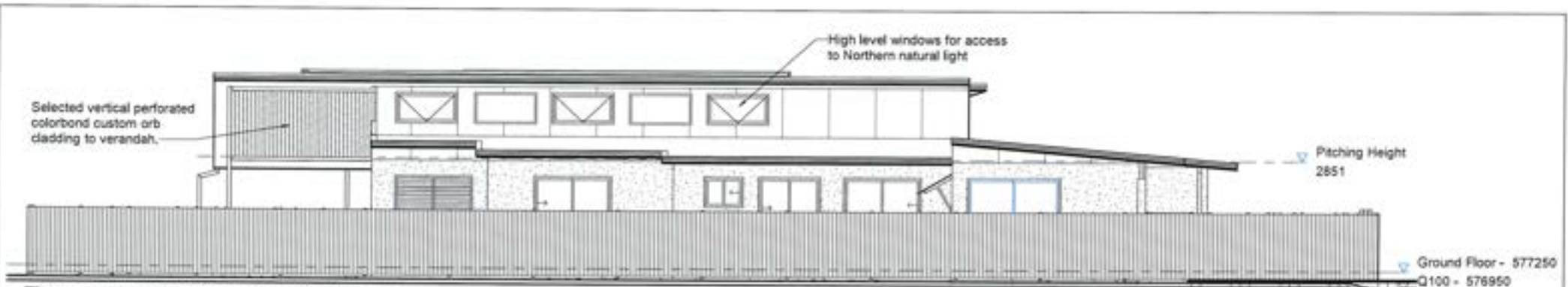
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Drawing number 2023/0157/05  
 Referred to in Permit No: EDP24/0008

**EXCEPTIONAL DEVELOPMENT  
 PERMIT APPLICATION**

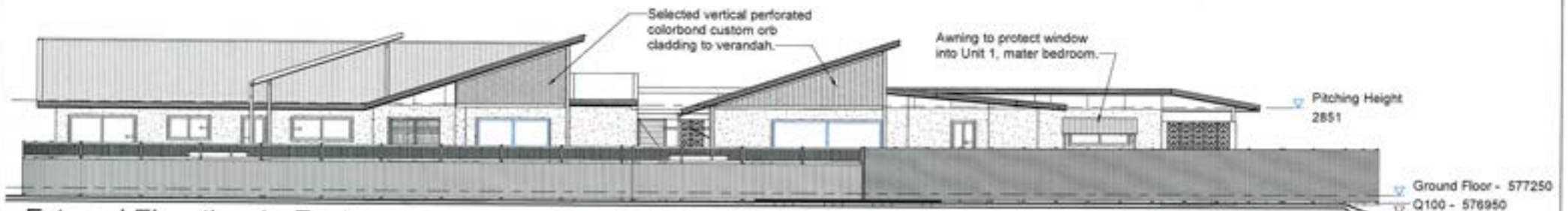


<p>This drawing is prepared and submitted in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2000.</p>			<p>Project No:          Proposed Development For F. Bonanni          Lot 5773 / 20 Mueller Street          Alice Springs</p>	
<p>Town Planning Services          External Elevations - Sheet 1</p>			<p>Drawn S.C.          3147</p>	<p>Rev. A.L.H.          TP06 or TP13</p>
<p>Scale: As indicated @ A3</p>		<p>Project: 3147-TP06_WD</p>		
<p>1:100 for A3 DRG.</p>		<p>0</p>		



### External Elevation 3 - Northern

Scale 1 : 100




### External Elevation 4 - Eastern

Scale 1 : 125

Drawing number 2023/0157/06  
 Referred to in Permit No: EDP24/0008

**EXCEPTIONAL DEVELOPMENT  
 PERMIT APPLICATION**



<small>THIS DOCUMENT IS VALID ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE PERMIT APPLICATION. ANY REUSE OF THIS DOCUMENT FOR OTHER PROJECTS OR SITES IS STRICTLY PROHIBITED.</small>			<small>Project No:</small> Proposed Development For P. Bonanni Lot 5773 / 25 Muller Street Alex Springs <b>Town Planning Services</b> <b>External Elevations - Sheet 2</b>	
<small>Drawn S.C.</small> 3147			<small>Rev:</small> A, J, K TP07 or TP13	
<small>As indicated @ A3</small>		<small>3147-TP07_WD</small>		

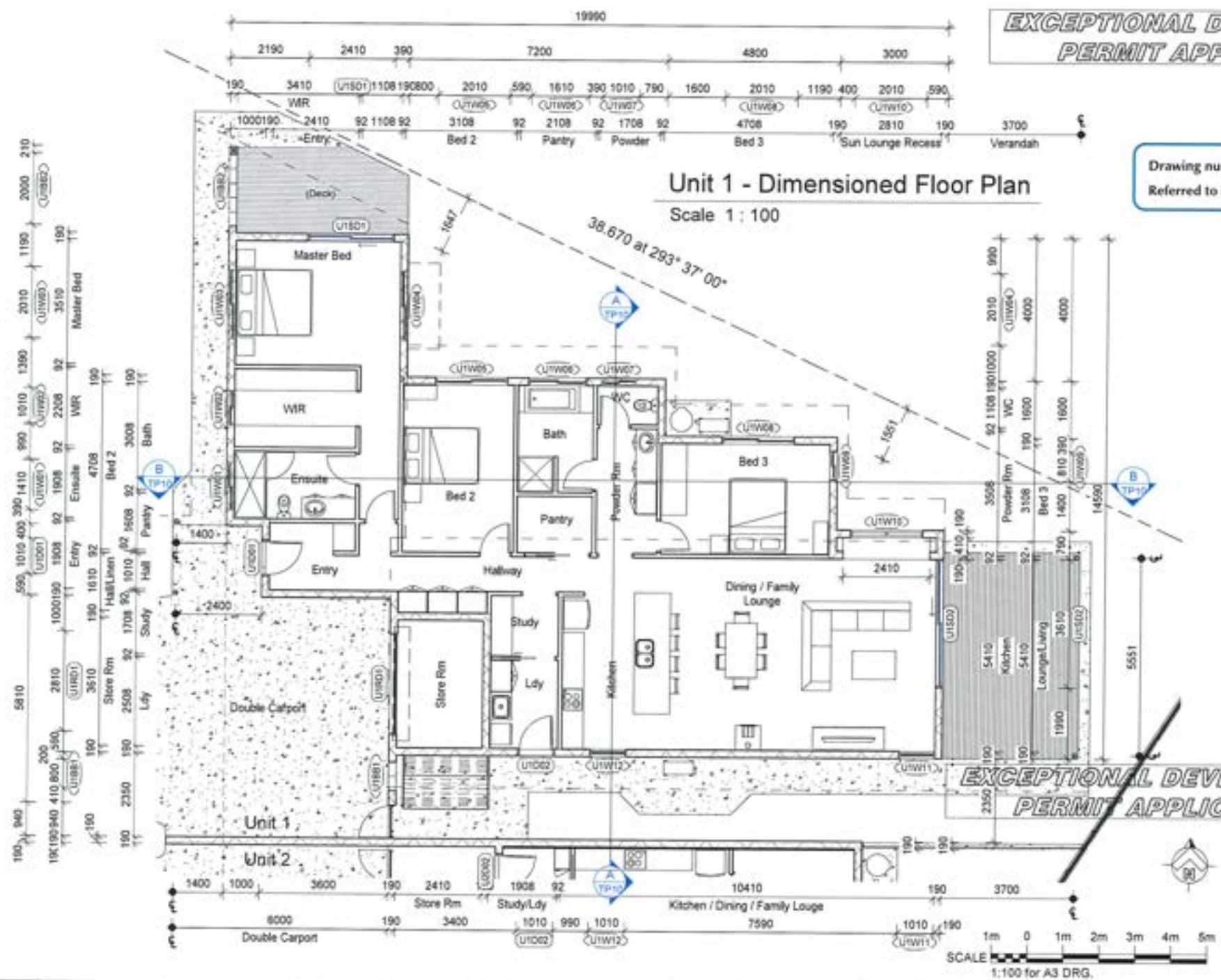
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**EXCEPTIONAL DEVELOPMENT PERMIT APPLICATION**

Drawing number 2023/0157/07  
 Referred to in Permit No: EDP24/0008

**Unit 1 - Dimensioned Floor Plan**  
 Scale 1 : 100

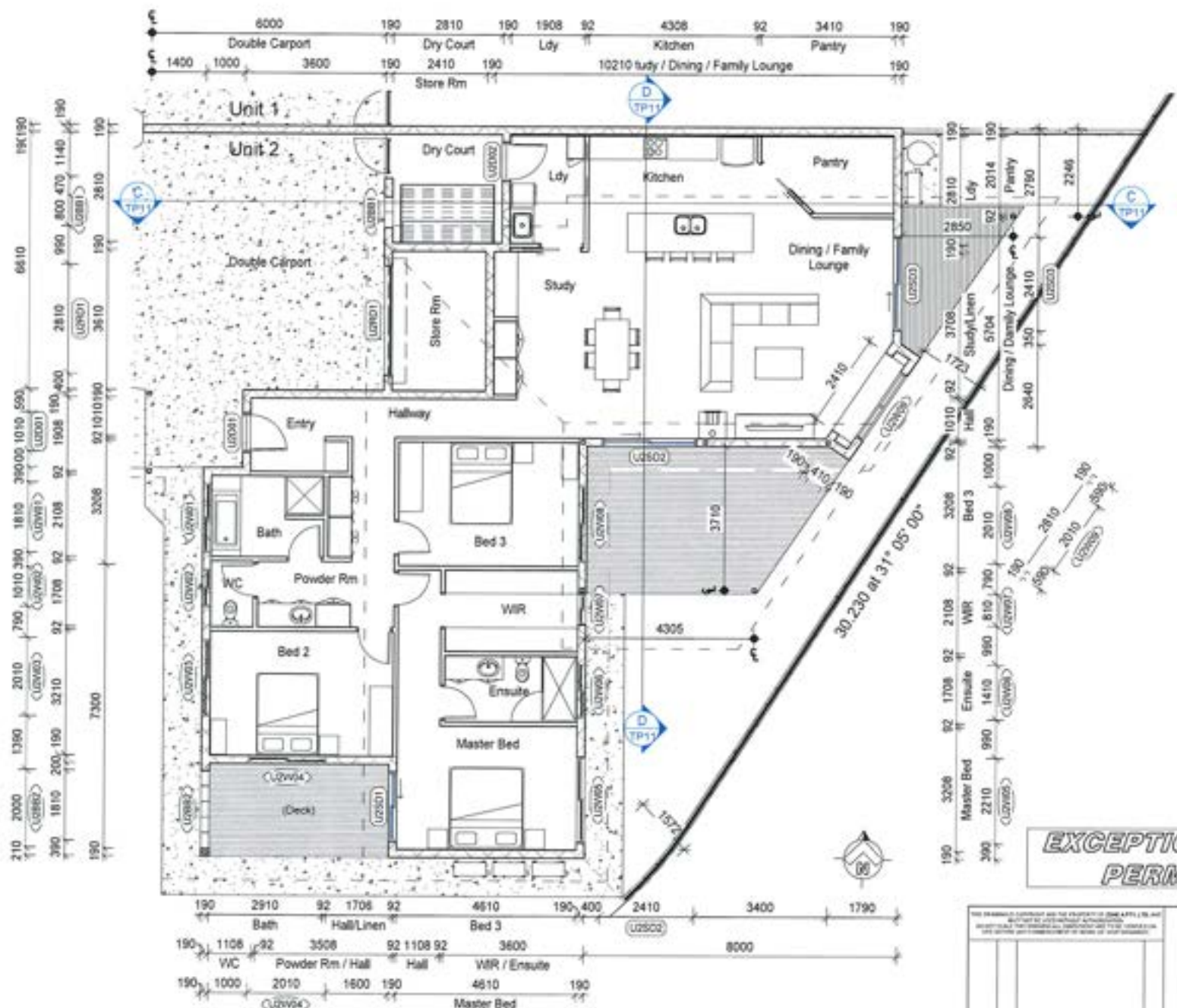





**EXCEPTIONAL DEVELOPMENT PERMIT APPLICATION**

Prepared Development For F. Bonanni Lot 5773 / 20 Mueller Street Alice Springs	
<b>Town Planning Services</b> Unit 1 - Dimensioned Plan	
Drawn: S.C.	Rev: A.J.H.
No: 3147	Rev: TP08 or TP13
Scale: 1:100 @ A3	
Drawing No: 3147-TP08_WD	Sheet No: 0

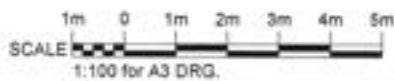
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Drawing number 2023/0157/08  
 Referred to in Permit No: EDP24/0008

**EXCEPTIONAL DEVELOPMENT  
 PERMIT APPLICATION**

**Unit 2 - Dimensioned Floor Plan**  
 Scale 1 : 100



	Proposed Development For F. Bonanni Lot 5773 / 20 Mueller Street Alice Springs	
	<b>Town Planning Services          Unit 2 - Dimensioned Plan</b>	
Issue: S.C. No: 3147 Scale: 1:100 @ A3	Date: A.J.P. Rev: TP08 or TP13	Drawing No: 3147-TP08_WD Date: 10/05/2023

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Drawing number 2023/0157/09  
 Referred to in Permit No: EDP24/0006



**Unit 1 - Section A - A**

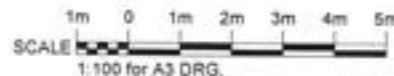
Scale 1 : 100




**Unit 1 - Section B - B**

Scale 1 : 100

**EXCEPTIONAL DEVELOPMENT  
 PERMIT APPLICATION**



		Project No: Proposed Development For F. Bonami Lot 5773 / 20 Muller Street Alice Springs Town Planning Services Sections Sheet 1
Sheet S.C. 3147	Sheet A.234 TP10 per TP13	Scale: 1 : 100 @ A3
1st Floor Plan 2nd Floor Plan 3rd Floor Plan 4th Floor Plan 5th Floor Plan 6th Floor Plan 7th Floor Plan 8th Floor Plan 9th Floor Plan 10th Floor Plan 11th Floor Plan 12th Floor Plan 13th Floor Plan 14th Floor Plan 15th Floor Plan 16th Floor Plan 17th Floor Plan 18th Floor Plan 19th Floor Plan 20th Floor Plan 21st Floor Plan 22nd Floor Plan 23rd Floor Plan 24th Floor Plan 25th Floor Plan 26th Floor Plan 27th Floor Plan 28th Floor Plan 29th Floor Plan 30th Floor Plan 31st Floor Plan 32nd Floor Plan 33rd Floor Plan 34th Floor Plan 35th Floor Plan 36th Floor Plan 37th Floor Plan 38th Floor Plan 39th Floor Plan 40th Floor Plan 41st Floor Plan 42nd Floor Plan 43rd Floor Plan 44th Floor Plan 45th Floor Plan 46th Floor Plan 47th Floor Plan 48th Floor Plan 49th Floor Plan 50th Floor Plan 51st Floor Plan 52nd Floor Plan 53rd Floor Plan 54th Floor Plan 55th Floor Plan 56th Floor Plan 57th Floor Plan 58th Floor Plan 59th Floor Plan 60th Floor Plan 61st Floor Plan 62nd Floor Plan 63rd Floor Plan 64th Floor Plan 65th Floor Plan 66th Floor Plan 67th Floor Plan 68th Floor Plan 69th Floor Plan 70th Floor Plan 71st Floor Plan 72nd Floor Plan 73rd Floor Plan 74th Floor Plan 75th Floor Plan 76th Floor Plan 77th Floor Plan 78th Floor Plan 79th Floor Plan 80th Floor Plan 81st Floor Plan 82nd Floor Plan 83rd Floor Plan 84th Floor Plan 85th Floor Plan 86th Floor Plan 87th Floor Plan 88th Floor Plan 89th Floor Plan 90th Floor Plan 91st Floor Plan 92nd Floor Plan 93rd Floor Plan 94th Floor Plan 95th Floor Plan 96th Floor Plan 97th Floor Plan 98th Floor Plan 99th Floor Plan 100th Floor Plan	3147-TP10_WD 0	

Drawing number 2023/0157/10  
 Referred to in Permit No: EDP24/0008



Unit 2 - Section C - C

Scale 1 : 100



Unit 2 - Section D - D

Scale 1 : 100

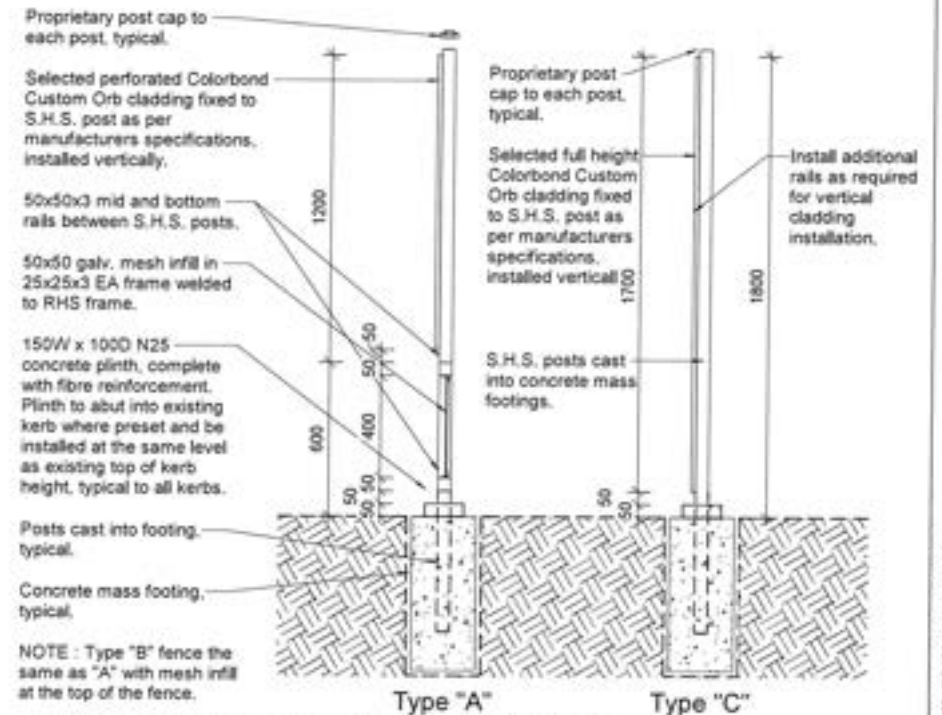
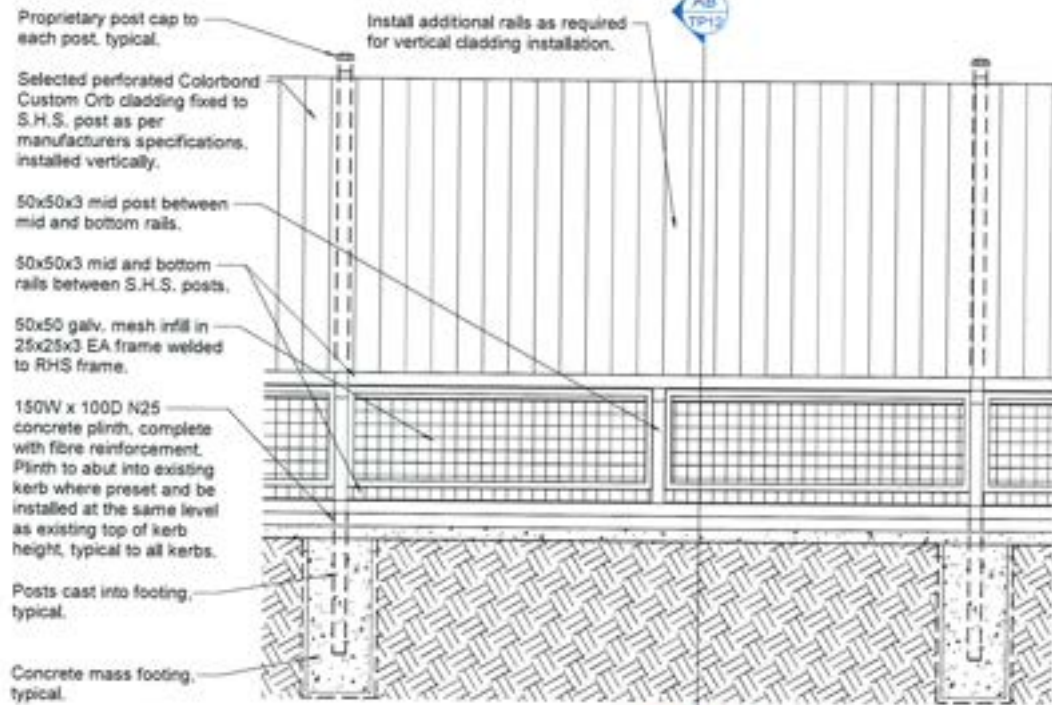
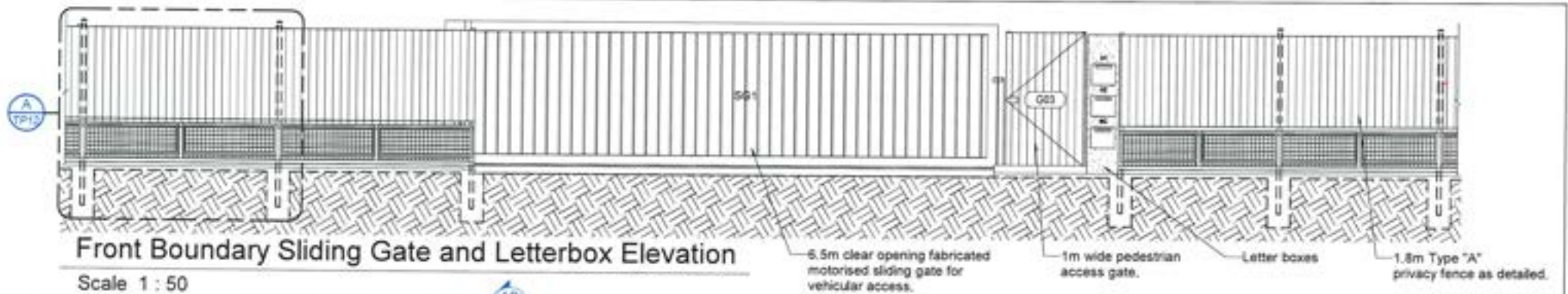
**EXCEPTIONAL DEVELOPMENT  
 PERMIT APPLICATION**



<p>THIS DRAWING IS A CONTRACT AND THE ACCEPTANCE OF SUCH BY THE CLIENT AND THE CONTRACTOR SHALL BE DEEMED TO BE AN ACCEPTANCE OF THE TERMS AND CONDITIONS OF SUCH CONTRACT.</p>		 <p>zone a        architects - planners - urban designers</p>	<p>Project Name          Proposed Development For F. Bonanni          Lot 5773 / 20 Mueller Street          Alice Springs</p>	
<p>Client          F. Bonanni</p>			<p>Town Planning Services          Sections Sheet 2</p>	
<p>Design          TP11</p>		<p>Author          TP11 or TP12</p>		
<p>Scale          1:100 @ A3</p>		<p>Sheet          3147 - TP11, WD</p>		
<p>Date          2023/0157/10</p>		<p>Revision          0</p>		

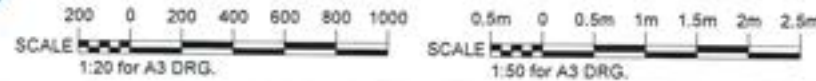
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Drawing number 2023/0157/11  
Referred to in Permit No: EDP24/0008

**EXCEPTIONAL DEVELOPMENT  
PERMIT APPLICATION**



		Proposed Development For F. Somers Lot 5173 / 20 Muller Street Alice Springs <b>Town Planning Services          Fencing Details</b>
Project S.C. No. 3147	Plan A, J, H Rev. TP12 or TP13	Rev. As indicated @ A3
14/08/2024 (rev. 07) updates to... 14/08/2024 (rev. 06) updates to...	15/08/2024 14/08/2024	3147-TP12_WD 0

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Drawing number 2023/0157/12

Referred to in Permit No: EDP24/0008

**EXCEPTIONAL DEVELOPMENT  
PERMIT APPLICATION**



High level windows  
within each unit.

Selected colorbond  
Custom Orb privacy  
fence to adjacent side  
neighbour.

Blockwork breeze  
blocks built into wall  
typical to each unit.

Selected colorbond Custom Orb  
privacy fence with Mesh below  
to front boundary.

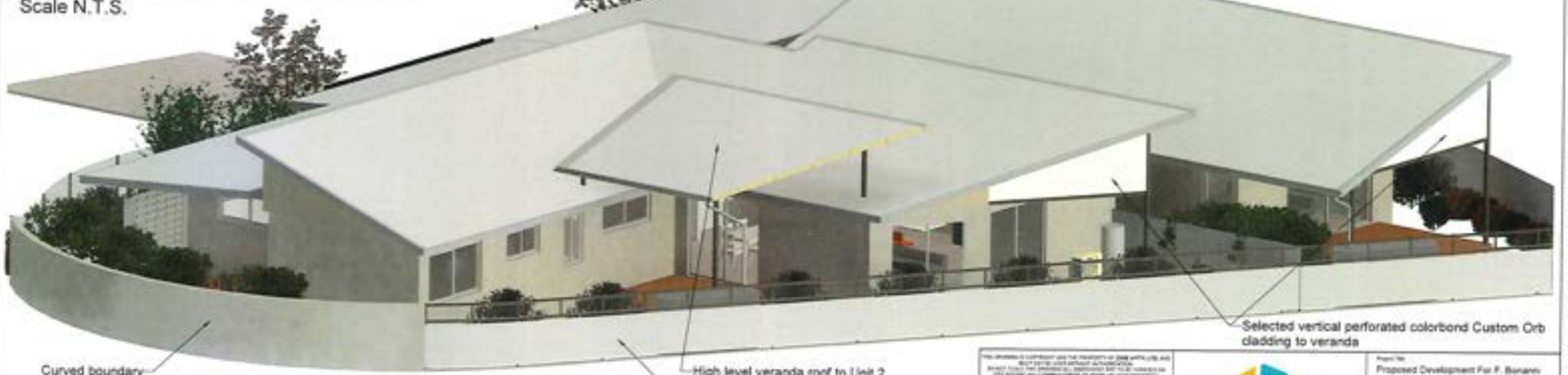
Personal access gate  
and letterboxes

Driveway extended to  
existing road kerb.

6.5m clear opening fabricated motorised  
sliding gate for vehicular access.

### North Western Aerial Elevation

Scale N.T.S.



Curved boundary  
blockwork wall

High level veranda roof to Unit 2

Selected colorbond Custom Orb  
privacy fence to rear boundaries  
with mesh to top of fence.

Selected vertical perforated colorbond Custom Orb  
cladding to veranda

### South Eastern Aerial Elevation

Scale N.T.S.

**EXCEPTIONAL DEVELOPMENT  
PERMIT APPLICATION**

<p>ALL DIMENSIONS GIVEN UNLESS OTHERWISE STATED WITHIN THIS DRAWING.          ALL DIMENSIONS GIVEN UNLESS OTHERWISE STATED WITHIN THIS DRAWING.          ALL DIMENSIONS GIVEN UNLESS OTHERWISE STATED WITHIN THIS DRAWING.</p>	<p>1:100 (S.P. 2.3)</p>
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Proposed Development For F. Bonanni  
 Lot 5773 / 20 Mueller Street  
 Alice Springs  
**Town Planning Services  
 3D Conceptual Aerial Views**

Drawn: S.C.	Rev: A.J.H.
No: 3147	Rev: TP13 of TP13
Scale: @ A3	

Project: 3147-TP13_WD	Sheet: 0
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