

Setbacks

In Zones MR and HR

Setback controls govern how close a building can be built to its lot boundary.

The distance a building envelope has to be set back depends on which lot boundary it is adjacent to. Primary or secondary setbacks typically face a public street and side or rear setbacks about other lot boundaries (normally neighbouring properties).

Where a site has two or more street frontages, the primary street is generally decided by which street has the widest carriageway, or the street that carries the greater volume of traffic. The secondary street will have reduced setback requirements.

In addition to this, buildings over 4 storeys also have upper level setbacks that require the building line to be stepped back further above the fourth storey.

Objectives of Setbacks

Setback provisions in Zones MR and HR aim to:

- provide physical separation between residences that preserves the amenity for existing and potential future neighbours
- encourage buildings to orientate towards the street to provide a positive interaction with the public realm
- provide for passive surveillance opportunities by allowing balconies to encroach into setback areas
- provide opportunities for on-site landscaping, private open space and communal open space
- provide a degree of consistency of setback from the street for neighbouring buildings of similar uses
- break down the bulking of the facade in the vertical plane.

Scheme Requirements

Table B to Clause 5.4.3 sets out the setback requirements for developments in Zones MR and HR.

Residential buildings are required to be set back:

- 6m from the primary street frontage. Balconies are permitted to be setback a maximum of 3m from the lot boundary
- 4.5m from any secondary frontage, and balconies can be setback to 1.5m
- 3m from all other boundaries (ie. side and rear boundaries). Balconies are not permitted to encroach into the setback area along these lot boundaries.

Upper level setbacks

The upper levels of residential developments over 4 storeys are required to be further setback to:

- 9m from the primary street frontage, and cantilevered balconies can be setback to 6m of the lot boundary
- 7.5m from any secondary street frontage, and cantilevered balconies can be setback to 4.5m

6m from all other boundaries (ie. side and rear boundaries) and 4.5m for cantilevered balconies.

Note: Clause 5.4.6 (Landscaping) requires 2m deep (wide) landscaping, excluding where there are areas of private open space, for the length of side and rear setbacks.

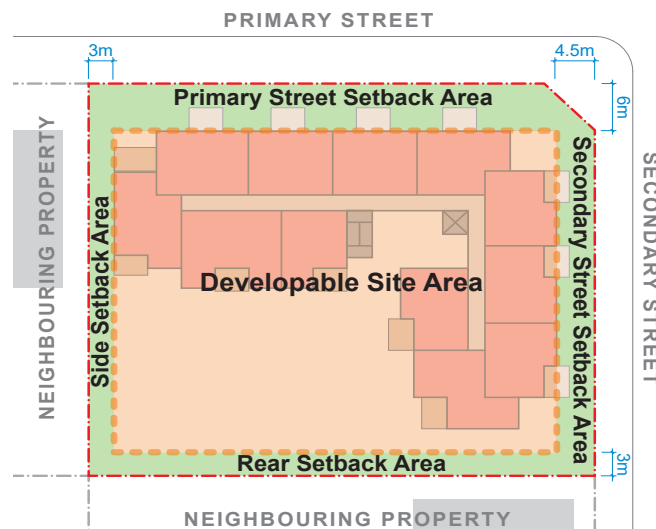


Fig 1: illustrates the location of different setback types.

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Design Suggestions

- Developments are encouraged to incorporate deep soil planting within setback areas to provide shade and screening for occupants and also to contribute positively to the public domain.
- Plant species with a vertical growing habit can help to provide a visual break between neighbouring buildings when planted within side and rear setbacks.
- Setback areas may be used for the provision of private open space requirements of ground level apartments. The private open space area must be directly accessible from the dwelling to which it relates and should be clearly separated from other uses of the setback area by a fence or similar boundary marker.
- Residential parking should be contained behind the building line and ideally screened from view to the public domain.
- Roofline setbacks can be utilised to provide aggressive shading to provide amenity for residents.

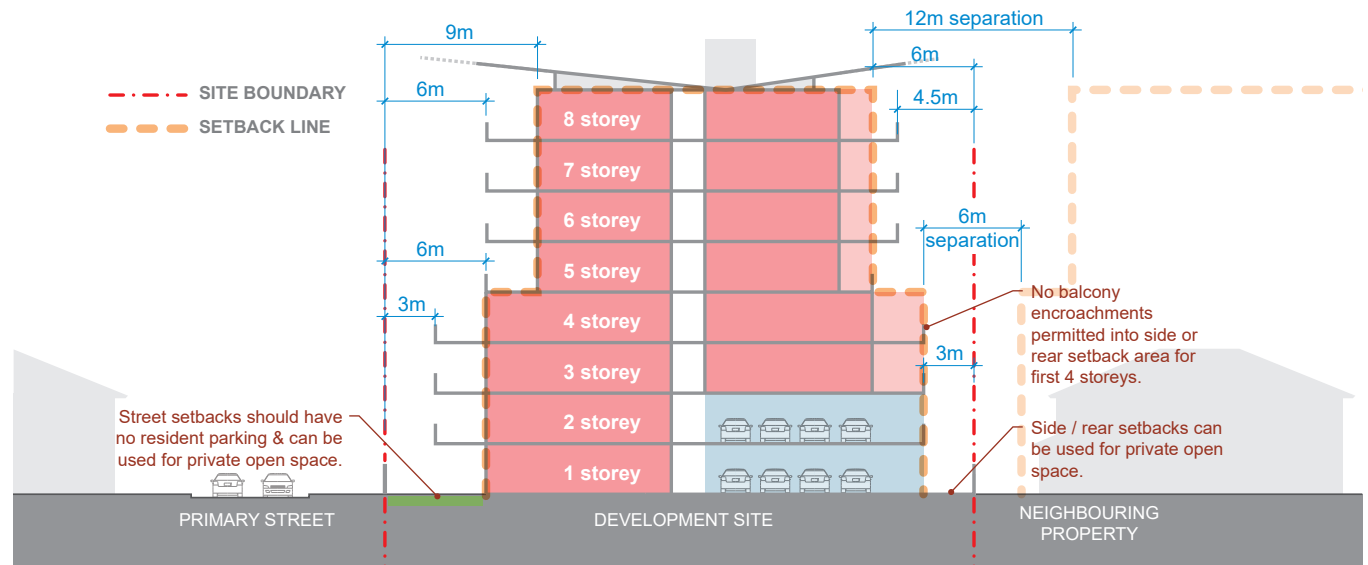


Fig 2: illustrates setback provisions for buildings up to 8 storeys



Fig 3 & 4: The correct species selection can provide shade and privacy for occupants, while softening the appearance to the public domain.