

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999

AMENDMENT TO NT PLANNING SCHEME 2020

I, ANDREW JAMES KIRKMAN, delegate for the Minister for Infrastructure, Planning and Logistics, under sections 13(3)(b) of the *Planning Act 1999*, amend the NT Planning Scheme 2020 by making the amendment, specified in the Schedule.



Dated 3RD FEBRUARY 2023.

Delegate
Minister for Infrastructure, Planning and Logistics

SCHEDULE

AMENDMENT TO NT PLANNING SCHEME 2020

AMENDMENT No. 73

1. Citation

This amendment to the NT Planning Scheme 2020 may be cited as Amendment No. 73.

2. Definition

In this amendment –

"amending map" means the map, signed by the delegate for the Minister for Infrastructure, Planning and Logistics and marked "NT Planning Scheme 2020 Amendment No. 73", deposited in the office of the Department of Infrastructure, Planning and Logistics, Darwin;

"zoning map" means the zoning map within the meaning of the NT Planning Scheme 2020.

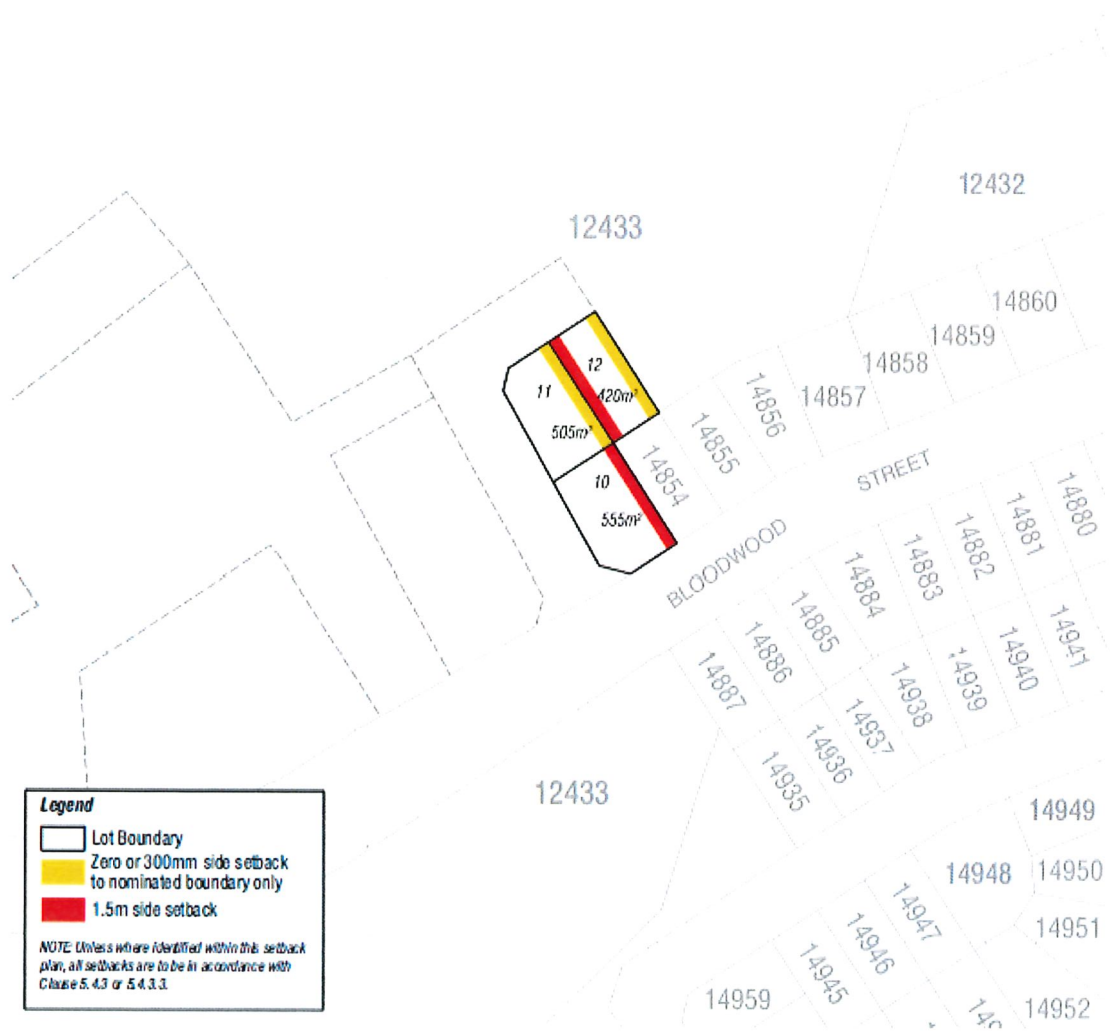
3. Amendment of Zoning Map

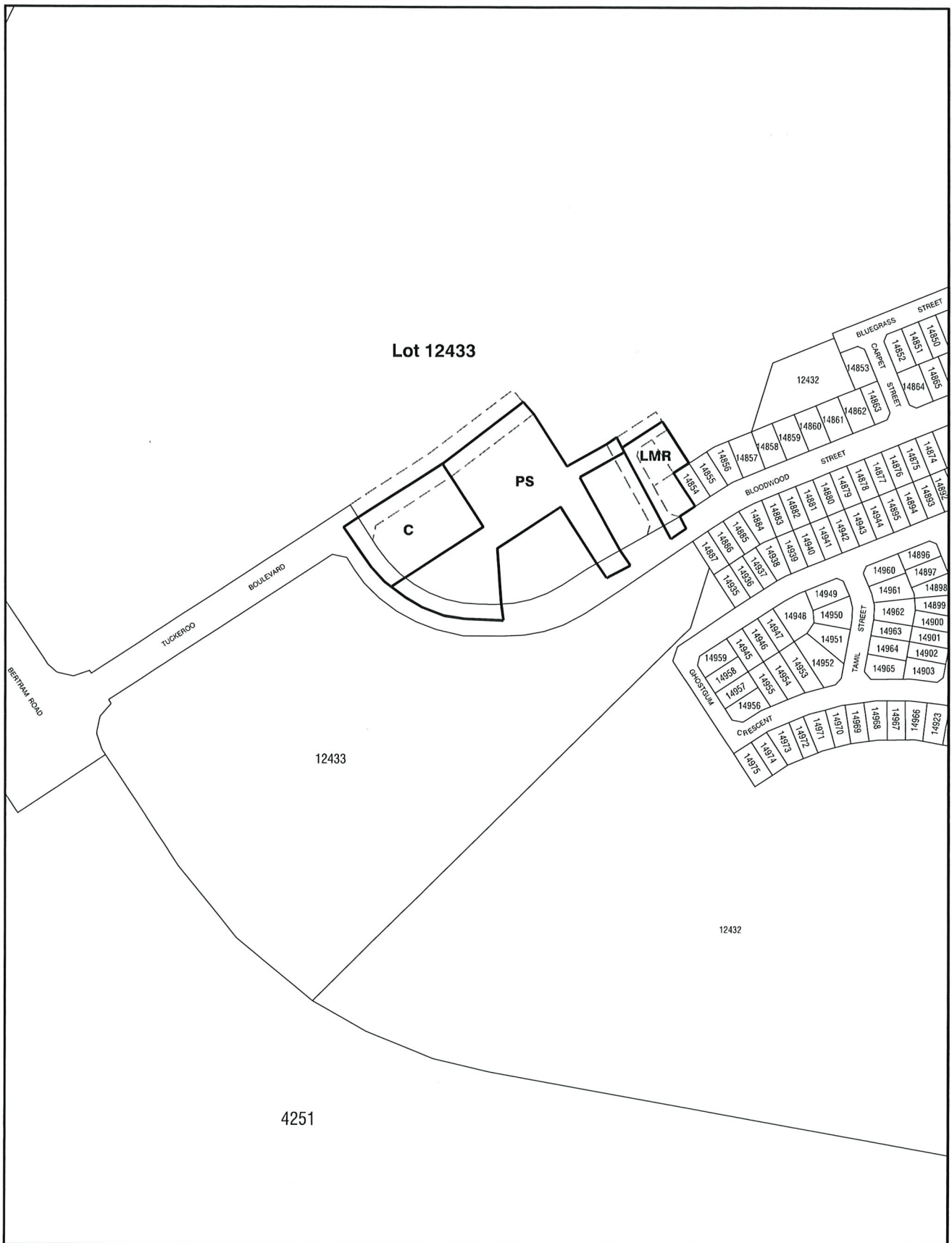
The NT Planning Scheme 2020 is amended by amending the zoning map relating to Town of Palmerston to the extent of its inconsistency with the amending map in respect of the area of land shown on the amending map bounded by a thick black line and lettered C, LMR and PS.

4. Amendment to Schedule 9: Building Setback Plans

insert

Zuccoli - Stage 4D

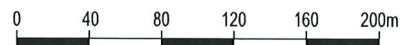




NT PLANNING SCHEME
AMENDMENT No. 73
Part Lot 12433 TOWN OF PALMERSTON



Department of Infrastructure, Planning and Logistics



Scale 1: 4000 @ A4



DELEGATE OF THE MINISTER FOR INFRASTRUCTURE, PLANNING AND LOGISTICS

[Signature]

Date **3/2/23**

File No. PA2022/0430

Date: 5-Jan-23

Drawing Name: PSA Part Lot 12433 Plamerston.dgn

NORTHERN TERRITORY OF AUSTRALIA

Planning Act 1999
Section 29

Reasons for Decision

NORTHERN TERRITORY PLANNING SCHEME 2020
AMENDMENT No. 73

Pursuant to section 13(3)(b), I have decided to rezone Part Lot 12433 Town of Palmerston from Zone FD (Future Development) to Zone LMR (Low-Medium Density Residential), Zone C (Commercial) and Zone PS (Public Open Space) and include a new setback plan into Schedule 9.

I have approved the amendment as I am satisfied that, pursuant to section 13(1), the amendment:

- (a) promotes the purpose and objectives of the Act as it:
 - i. is consistent with the strategic framework for the locality; and
 - ii. intends to satisfy future needs of the community and assists in the provision of public infrastructure and facilities for the benefit of the community;
- (b) it is consistent with the Palmerston Eastern Suburbs Planning Principles and Area Plan; and
- (c) has merit and is in the public interest as:
 - i. it will allow for the development of the land to address the needs of the community;
 - ii. it will facilitate the implementation of Zuccoli Aspire (Stage 4D) of the approved masterplan of the Zuccoli Aspire development; and
 - iii. the building setback plan will provide consistent setbacks with surrounding residential development.

Pursuant to section 13(2)(b) I am satisfied that the amendment is not significant enough to require exhibition as it is a normalisation of the zoning and building setbacks to reflect the intended land uses approved through DP22/0061.



Andrew Kirkman
Delegate
Minister for Infrastructure, Planning and Logistics

3 / 2 / 2023